

CONWAY STREET PARK NORTH PLAZA REDESIGN

DESIGN DEVELOPMENT + PRICING SET
NOVEMBER 15, 2023

SHEET LIST:

SITE ONE: ONSITE PARCEL

- C100 EXISTING SITE PLAN
- C101 DEMOLITION PLAN
- C200 PROPOSED SITE PLAN
- L101 KEY PLAN
- L102 MATERIALS PLAN
- L103 LAYOUT PLAN: PAVING
- L104 LAYOUT PLAN: SITE AMENITIES
- L201 HARDSCAPE DETAILS
- L301 PLANTING PLAN
- L401 PLANTING DETAILS
- L402 PLANTING NOTES

SHEET LIST:

SITE TWO: RIGHT-OF-WAY PARCEL

- C100R EXISTING SITE PLAN
- C101R DEMOLITION PLAN
- C200R PROPOSED SITE PLAN
- L101 KEY PLAN
- L102 MATERIALS PLAN
- L103 LAYOUT PLAN: PAVING
- L104 LAYOUT PLAN: SITE AMENITIES
- L201 HARDSCAPE DETAILS
- L301 PLANTING PLAN
- L401 PLANTING DETAILS
- L402 PLANTING NOTES



SITE PLAN



1 VIEW FROM NORTHWEST CORNER

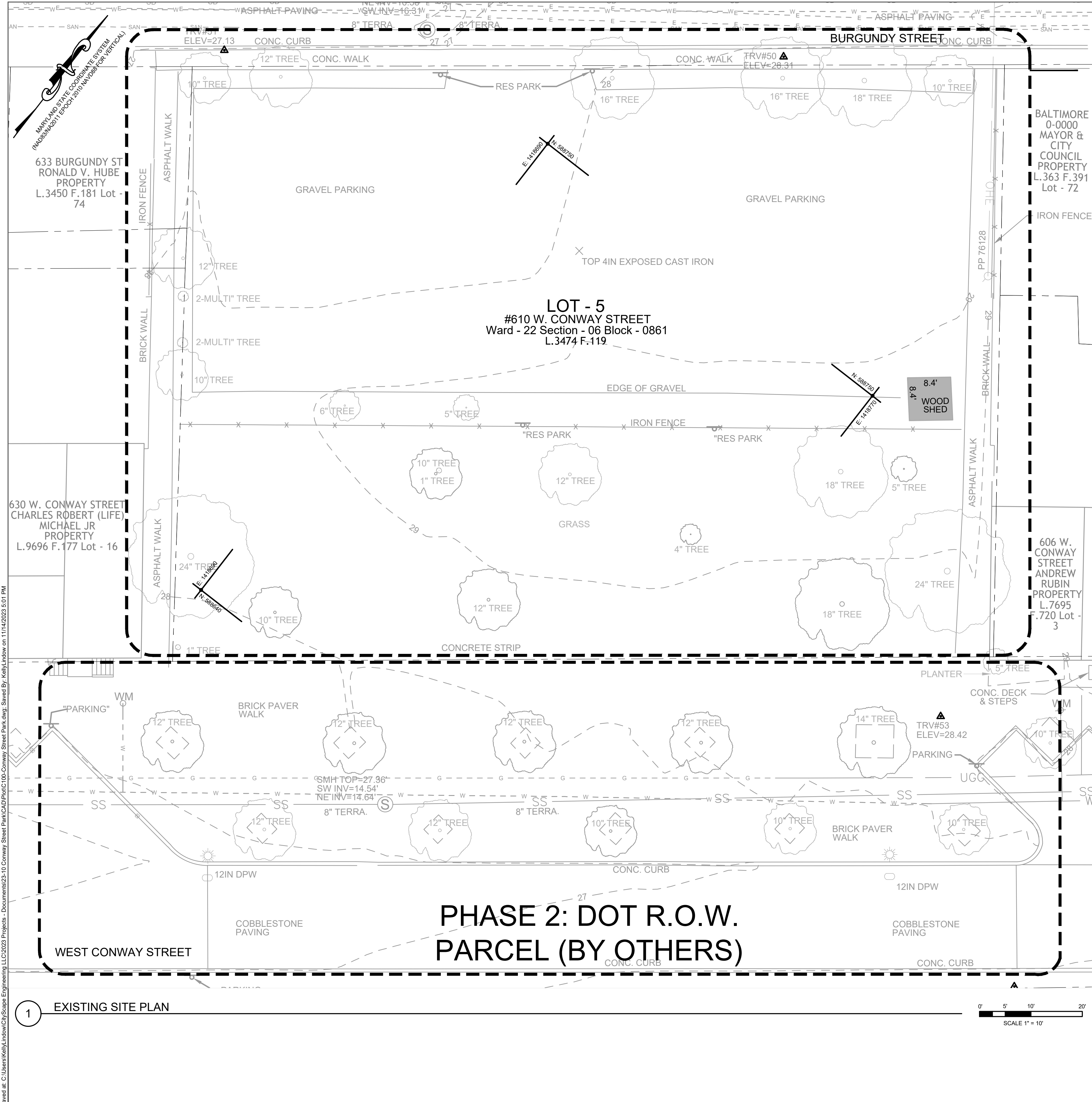


2 VIEW FROM NORTHEAST PATH

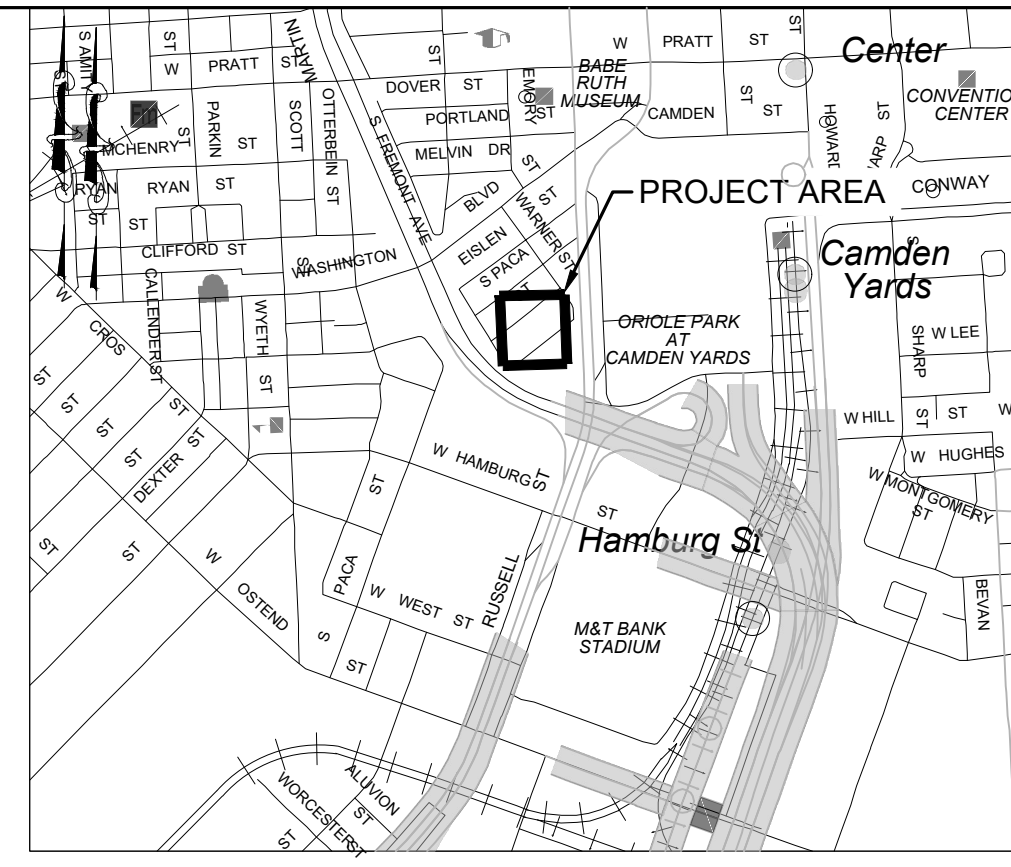


3 BIRD'S EYE VIEW FROM SOUTHWEST





PHASE 1: ON SITE
MATERIALS PLAN SEE 1/L102
LAYOUT PLANS SEE 1/L103A, L103B
PLANTING PLAN SEE 1/301



GENERAL SURVEY NOTES:

- THE LOCATION OF IMPROVEMENTS SHOWN HEREON ARE DERIVED FROM MARYLAND COORDINATE SYSTEM (NAD83/NA2011 EPOCH 2010) & NAVD88 FOR VERTICAL.

PointNo.	Northing(Y)	Easting(X)	Elev(Z)	Description
1	588476.03	1418607.85	26.58	MAG NAIL
2	588676.07	1418862.34	28.70	MAG NAIL
3	588424.57	1418839.08	31.99	MAG NAIL

2. SITE DATA:

OWNERSHIP: MAYOR AND CITY COUNCIL
DEED: L.3437 F.119
ADDRESS: 610 W. CONWAY STREET, BALTIMORE, MD 21201
LOT 5 - WARD 22 - SECTION 6 - BLOCK 861

- A BOUNDARY SURVEY WAS NOT PERFORMED. PROPERTY LINES AND BUILDING LOCATION SHOWN HEREON ARE BASED ON GIS DATA AVAILABLE FROM BALTIMORE CITY.
- UTILITY INFORMATION SHOWN HEREON IS BASED ON ABOVE-GROUND LOCATIONS AND PAINT MARKINGS.
- ADDITIONAL INFORMATION SHOWN HEREON IS BASED ON INFORMATION PREPARED BY ENVIROCOLLAB, LLC & CITYSCAPE ENGINEERING, LLC.

UTILITY NOTES:

- SUBSURFACE UTILITY LOCATIONS SHOWN ON THIS PLAN WERE ESTIMATED BASED ON OBSERVED SURFACE MARKERS, RESULTS OF THE MISS UTILITY DESIGN TICKET, AND UTILITY PLANS PROVIDED BY UTILITY COMPANIES. THE CORRECTNESS AND COMPLETENESS OF THE UTILITY INFORMATION IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST THREE WORKING DAYS PRIOR TO STARTING WORK SO THEY CAN ARRANGE TO MARK THE HORIZONTAL LOCATION OF THEIR UNDERGROUND UTILITIES. ANY PERMITS OR COST ASSOCIATED WITH MISS UTILITY ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY UTILITY DEPARTMENT OFFICIALS.
- CONTRACTOR SHALL CONDUCT TEST PITS TO VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY, IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLAN, IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN UNINTERRUPTED UTILITY SERVICE. ANY DAMAGE TO EXISTING STRUCTURES SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE CITY UTILITY INSPECTOR, AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DEVELOPER AND THE UTILITY OWNER OF ANY DAMAGE TO THE UTILITY.

LEGEND

EXISTING FEATURES

- [Symbol] BUILDING
- [Symbol] PROPERTY LINE
- [Symbol] TRAVERSE POINT
- [Symbol] MAJOR (5-FT) CONTOUR
- [Symbol] MINOR (1-FT) CONTOUR
- [Symbol] SANITARY MANHOLE
- [Symbol] STORM DRAIN MANHOLE
- [Symbol] LIGHT POLE
- [Symbol] WATER METER
- [Symbol] SIGN
- [Symbol] ROOF DRAIN TO CURB (3')
- [Symbol] FIRE HYDRANT
- [Symbol] WATER VALVE
- [Symbol] HAND HOLE
- [Symbol] CHAIN LINK FENCE
- [Symbol] OVERHEAD ELECTRIC
- [Symbol] WATER LINE (QLC)
- [Symbol] UNDERGROUND TELEPHONE
- [Symbol] SANITARY MAIN (QLC)
- [Symbol] TREE
- [Symbol] WATER LINE (QLD)
- [Symbol] SANITARY MAIN (QLD)
- [Symbol] UNDERGROUND ELECTRIC (QLD)

LANDSCAPE ARCHITECT:
ENVIROCOLLAB, LLC
111 E 25TH STREET, SUITE 1A
BALTIMORE, MD 21218
PHONE: 443-956-9278

ENGINEER:
CITYSCAPE ENGINEERING, LLC
3000 CHESTNUT AVE
SUITE #112
BALTIMORE, MD 21211
PHONE: 410-601-3290

DEVELOPER/APPLICANT:
SOUTH BALTIMORE GATEWAY PARTNERSHIP
101 W. DICKMAN STREET
STE 1000
BALTIMORE, MD 21230
PHONE: 410-424-7593

PROPERTY OWNER:
MAYOR AND CITY COUNCIL
100 N HOLLIDAY STREET
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: CJ CHECKED: XXX

DESIGNED: KL

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: _____
EXP. DATE: _____

PROJECT INFORMATION:
610 W CONWAY STREET
BALTIMORE, MD 21230
WARD 22, SECTION 060
BLOCK 0861, LOT 005
COUNCIL DISTRICT #11

#PLAN NO.: TBD

DATE: OCTOBER 2023

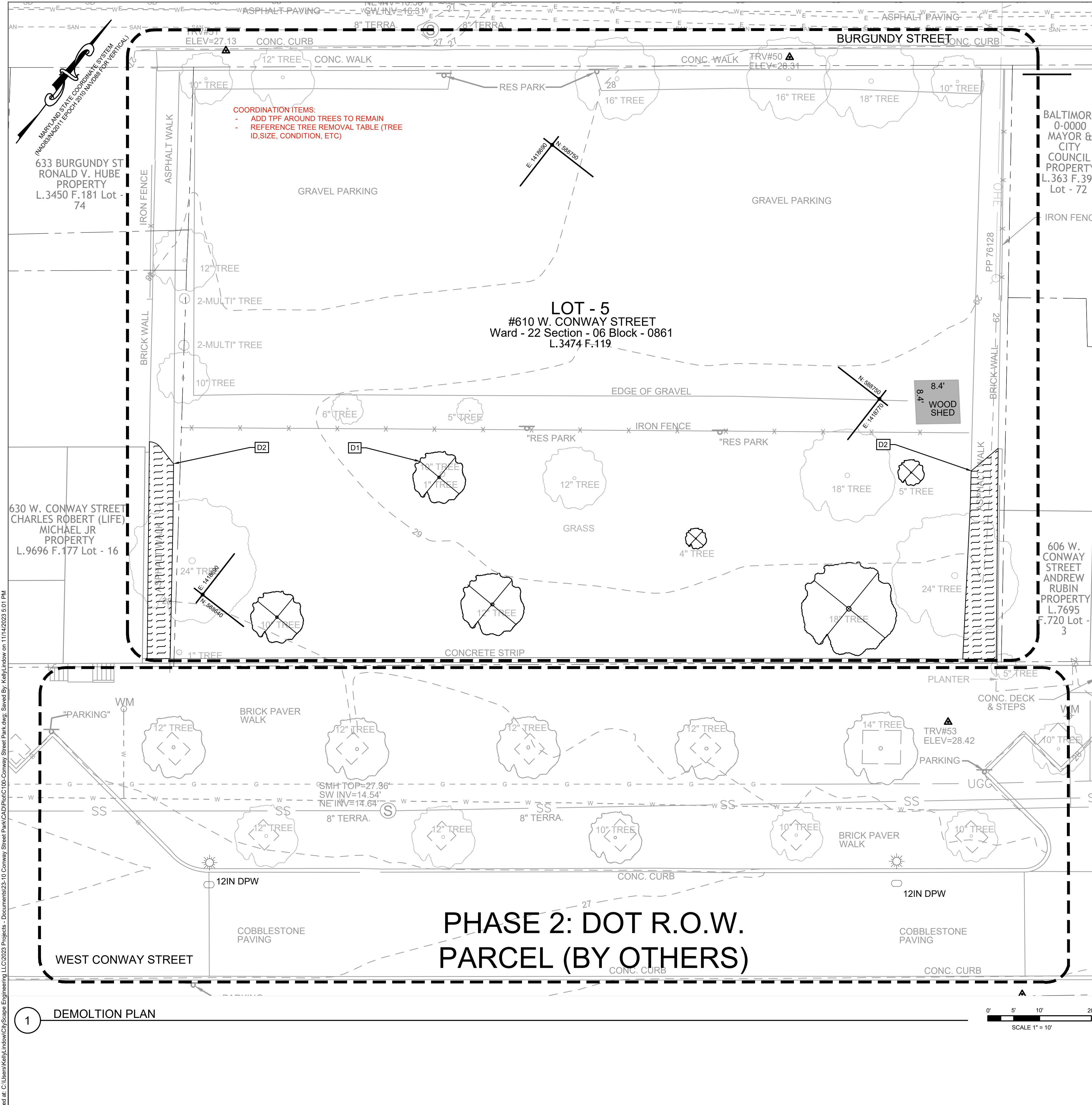
PROJECT NO.: 23-10

SHEET TITLE:
EXISTING SITE PLAN

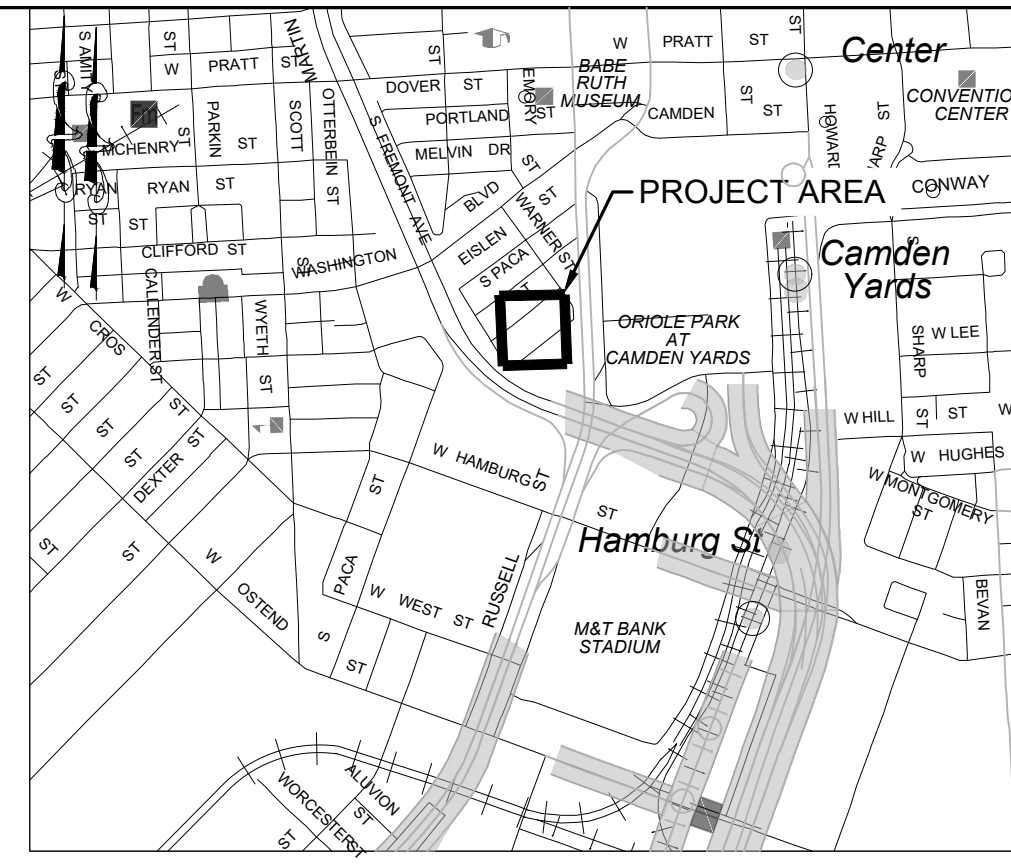
DWG. NO.:
C-100

Saved at: C:\Users\Kelly.Lindow\CityScape Engineering\23-10 Conway Street Park\KCAD\PHOTOC-10-Conway Street Park.dwg; Saved By: Kelly.Lindow on 11/14/2023 5:01 PM

1



PHASE 1: ON SITE MATERIALS PLAN SEE 1/L102
LAYOUT PLANS SEE 1/L103A, L103B
PLANTING PLAN SEE 1/301



SITE PREPARATION NOTES:

- AREAS DESIGNATED FOR WORK SHALL BE CLEARED AND GRUBBED, AS NEEDED.
- ALL TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AS DIRECTED BY THE OWNER. ALL DISPOSAL SHOULD BE DONE AT A SITE WITH APPROVED APPLICABLE PERMITS.
- NO ITEMS ARE TO BE BURNED OR BURIED ON THE SITE.

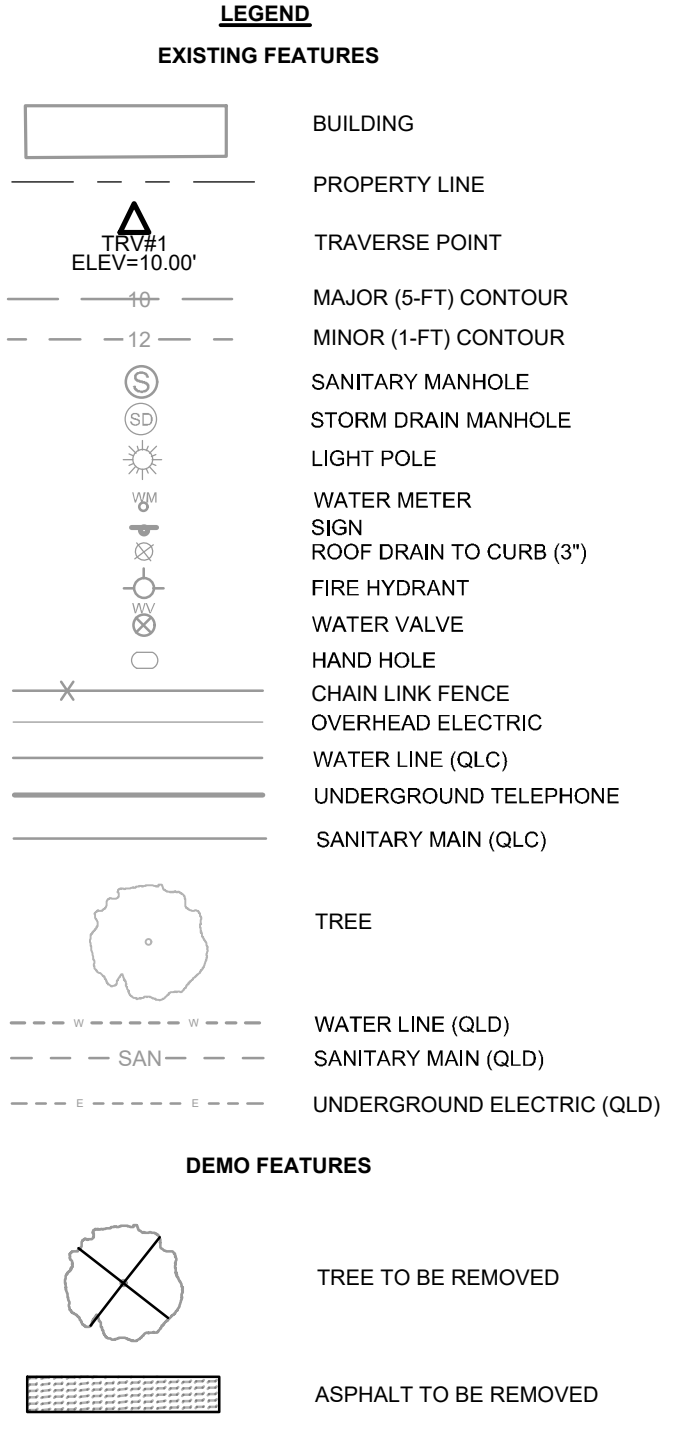
DEMOLITION NOTES:

- DEMOLITION ITEMS ARE TO INCLUDE ALL WORK REQUIRED TO REMOVE ITEM FROM SITE COMPLETELY. EXISTING IMPERVIOUS COVER TO BE REMOVED AND ALL UNDERLYING GRAVEL AND STONE ARE TO BE REMOVED AND HAULED FROM THE SITE.
- NO ITEMS ARE TO BE BURNED OR BURIED ON THE SITE.
- FOR ALL PAVEMENT REMOVAL AREAS, NEATLY SAWCUT ALL EDGES.
- NO HEAVY MACHINERY SHALL BE ALLOWED WITHIN THE TREE CRITICAL ROOT ZONE (CRZ). FOR GRADING NEEDS WITHIN THE CRZ, ONLY A LIGHT BOBCAT SHALL BE USED AND DISTURBANCE SHOULD BE MINIMIZED.
- WITHIN THE CRZ, PAVEMENT TO BE REMOVED MUST BE BROKEN UP BY A JACK HAMMER AND REMOVED BY HAND. AN AIR SPADE MAY BE USED TO LOOSEN MATERIAL.
- SUBBASE BELOW PAVEMENT REMOVAL AREAS MAY BE TEMPORARILY STOCKPILED ON SITE AND REUSED FOR CONSTRUCTION OF NEW WALKWAYS. MATERIAL MUST BE TESTED PRIOR TO REUSE AND SHALL MEET PROPOSED SUBBASE SPECIFICATIONS.
- CONTRACTOR TO DOCUMENT CONDITION OF ALL ADJACENT PROPERTIES, BUILDINGS, STRUCTURES, RIGHT-OF-WAYS, AND UTILITIES PRIOR TO DEMOLITION OR CONSTRUCTION.
- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING AROUND BGE ELECTRIC AND GAS INFRASTRUCTURE.

COORDINATION ITEMS:

- LA/ARBORIST TO REVIEW DEMOLITION NOTES AND ADD ANY PRECAUTIONS FOR WORK AROUND TREES TO REMAIN

DEMOLITION KEYNOTES TABLE		
TAG	DESCRIPTION	QUANTITY
D1	TREE TO BE REMOVED	6
D2	ASPHALT TO BE REMOVED	407 SF



LANDSCAPE ARCHITECT:
ENVIROCOLLAB, LLC
111 E 25TH STREET, SUITE 1A
BALTIMORE, MD 21218
PHONE: 443-956-9278

envirollab
LANDSCAPE ARCHITECTURE

ENGINEER:
CITYSCAPE ENGINEERING, LLC
3000 CHESTNUT AVE
SUITE #112
BALTIMORE, MD 21211
PHONE: 410-601-3290

CITYSCAPE
ENGINEERING, LLC

DEVELOPER/APPLICANT:
SOUTH BALTIMORE GATEWAY PARTNERSHIP
101 W. DICKMAN STREET
STE 1000
BALTIMORE, MD 21230
PHONE: 410-424-7593

PROPERTY OWNER:
MAYOR AND CITY COUNCIL
100 N HOLLIDAY STREET
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: CJ CHECKED: XXX

DESIGNED: KL

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: _____
EXP. DATE: _____

PROJECT INFORMATION:
610 W CONWAY STREET
BALTIMORE, MD 21230
WARD 22, SECTION 060
BLOCK 0861, LOT 005
COUNCIL DISTRICT #11

#PLAN NO.: TBD

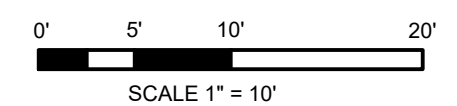
DATE: OCTOBER 2023

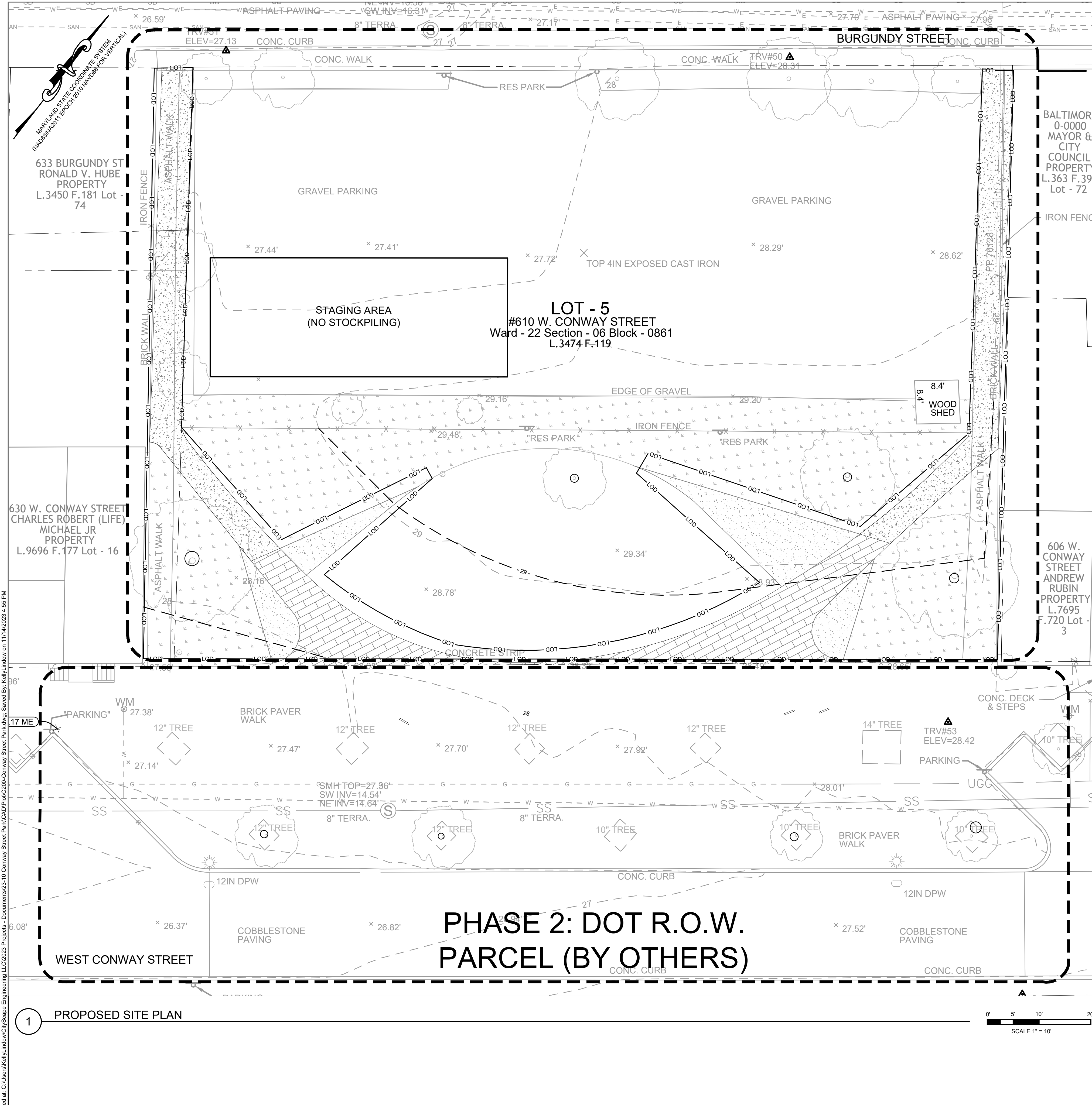
PROJECT NO.: 23-10

SHEET TITLE:
DEMOLITION PLAN

DWG. NO.:
C-101

1 DEMOLITION PLAN

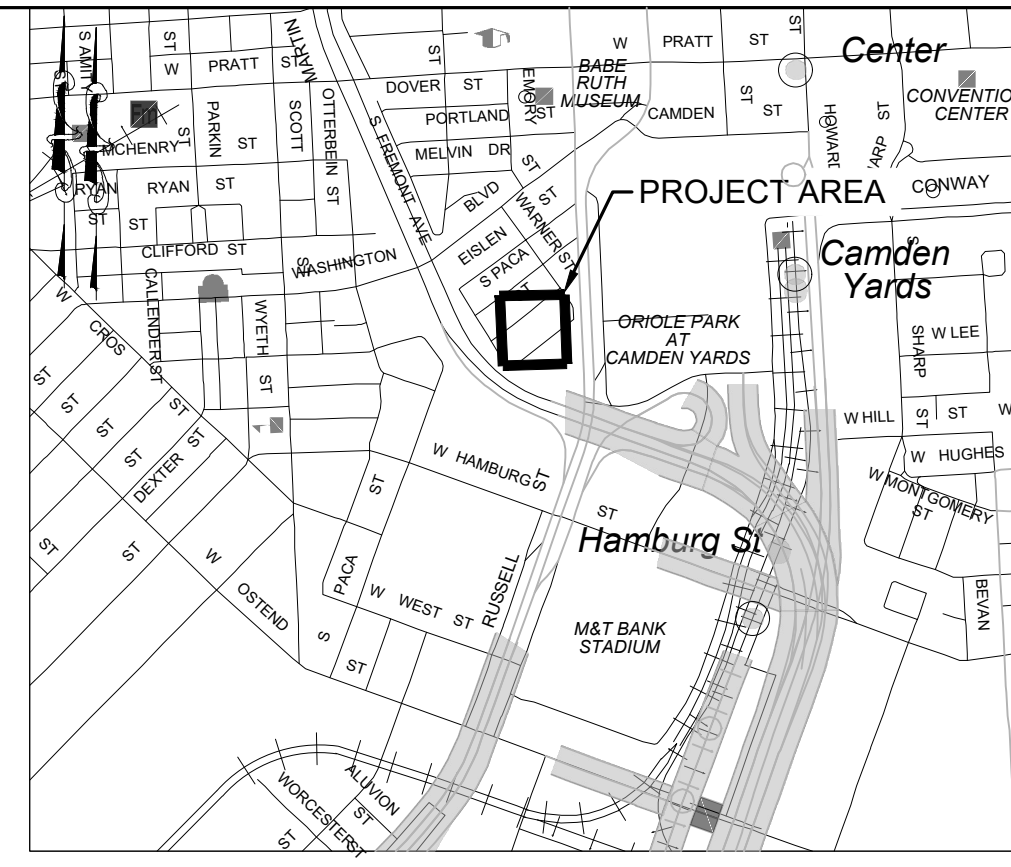




PHASE 1: ON SITE MATERIALS PLAN SEE 1/L102 LAYOUT PLANS SEE 1/L103A, L103B PLANTING PLAN SEE 1/301

- EROSION AND SEDIMENT CONTROL NOTES (PROJECTS UNDER 5,000 SF AND 100 CY):**
1. THE CONTRACTOR WILL COMPLY WITH ALL REQUIREMENTS OF SEDIMENT AND EROSION CONTROL AS SET FORTH IN THE MARYLAND SEDIMENT AND EROSION MANUAL.
 2. INITIAL DISTURBANCE WILL BE LIMITED TO THAT NECESSARY TO GAIN ENTRANCE TO THE SITE AND INSTALL NECESSARY SEDIMENT CONTROLS AS PER THE APPROVED PLANS.
 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS TO ALL SLOPES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND SEVEN (7) DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
 4. ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE WHENEVER POSSIBLE AND CONFINED TO AN AREA WHERE IT WILL NOT OBSTRUCT THE NORMAL COURSE OF DRAINAGE.
 5. PUMPING OF SEDIMENT LADEN WATER WILL NOT BE ALLOWED UNLESS IT IS FILTERED BY WAY OF AN APPROVED SEDIMENT TRAPPING DEVICE.
 6. CONTINUOUS INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES IS MANDATORY.
 7. ANY SEDIMENT CONTROL DEVICES DISTURBED DURING UTILITY CONSTRUCTION MUST BE RESTORED IMMEDIATELY.
 8. ALL POINTS OF INGRESS AND EGRESS SHALL BE PROTECTED TO MINIMIZE TRACKING OF MUD ON TO PUBLIC RIGHT-OF-WAYS.
 9. ANY EARTH, GRAVEL, AND/OR OTHER MATERIAL TRACKED, SPILLED OR WASHED ON TO ADJACENT ROADS MUST BE IMMEDIATELY REMOVED AND DISPOSED OF IN A PROPER MANNER. NO FLUSHING WILL BE PERMITTED. ALL MATERIAL MUST BE REMOVED BY MEANS OF SHOVELING AND SWEEPING.
 10. THE CONTRACTOR SHALL NOT DEVIATE FROM THE APPROVED SEDIMENT AND EROSION CONTROL PLAN WITHOUT FIRST RECEIVING APPROVAL FROM THE PROJECT ENGINEER.

- SEQUENCE OF CONSTRUCTION:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING ALL CONSTRUCTION PERMITS ONSITE AT ALL TIMES AND SCHEDULING INSPECTIONS WITH THE APPROPRIATE BALTIMORE CITY REPRESENTATIVES LISTED ON THE PERMIT.
 2. CLEAR AND GRUB FOR PLACEMENT OF SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES ONLY.
 3. INSTALL THE TREE PROTECTION FENCE AS SHOWN ON PLAN. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION UNTIL DIRECTED BY THE OWNER TO REMOVE.
 4. NO EQUIPMENT ACTIVITY AND NO STORAGE PERMITTED WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES. TREE MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO EXISTING TREES.
 5. PERFORM SITE DEMOLITION. REFER TO SITE DEMOLITION NOTES, SHEET C-101.
 6. PERFORM ROUGH GRADING OF SITE TO ACCOMMODATE PROPOSED NEW PAVING AREAS. DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED FOLLOWING THE 3 TO 7 DAY RULE (SEQUENCE ITEM #3).
 7. INSTALL THE NEW UTILITY LINES FOR THE HOSE BIB SERVICE. UTILITY TRENCHES SHALL BE PERMANENTLY STABILIZED THAT SAME DAY.
 8. INSTALL CONDUIT AND SITE LIGHTING. REFER TO LIGHTING PLANS.
 9. CONSTRUCT NEW BRICK, GRAVEL AND CONCRETE PAVING AREAS AS SHOWN ON THE PLANS.
 10. INSTALL LANDSCAPE BEDS AND NEW PLANTINGS PER LANDSCAPING PLANS.
 11. PLACE 4" OF FURNISHED TOPSOIL ALONG ANY AREAS DISTURBED DURING CONSTRUCTION. IMMEDIATELY SEED AND WATER TO ESTABLISH PERMANENT STABILIZATION. SEE ESC NOTES, THIS SHEET.
 12. UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED.
 13. UPON SITE STABILIZATION AND UPON WRITTEN APPROVAL FROM THE PROJECT MANAGER, THE CONTRACTOR MAY REMOVE EROSION AND SEDIMENT CONTROLS INCLUDING TREE PROTECTION FENCE. REMOVAL OF SEDIMENT CONTROLS SHOULD ONLY BE COMPLETED AFTER PERMANENT STABILIZATION IS EVIDENT.
 14. REPLACE ANY AREAS OF EXISTING ROADWAY PAVEMENT, SIDEWALK, OR LANDSCAPING DAMAGED BY REMOVAL OF EROSION AND SEDIMENT CONTROL DEVICES TO MATCH PRE-CONSTRUCTION CONDITIONS.



STANDARD STABILIZATION NOTE

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND SEVEN (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

STABILIZED CONSTRUCTION ENTRANCE NOTE

WHERE NO SCS IS PROVIDED, THE CONTRACTOR SHALL DESIGNATE PIECES OF CONSTRUCTION EQUIPMENT THAT SHALL BE ALLOWED WITHIN THE LOD. THIS EQUIPMENT SHALL BE KEPT WITHIN THE LOD UNTIL THE PROPOSED WORK IS COMPLETE AND SHALL HAVE TREADS/TIRES CLEANED PRIOR TO LEAVING THE LOD. ALL MATERIAL REMOVAL OR DELIVERY SHALL BE LIFTED FROM OR INTO THE LOD AND ANY SEDIMENT TRACKED OR DROPPED OUTSIDE THE LOD CLEANED IMMEDIATELY.

EARTHWORK SUMMARY

TOTAL DISTURBED AREA	4,567 SF
TOTAL CUT (salvaged and backfill)	36.6 CY
TOTAL CUT (hauled)	2.1 CY
TOTAL FILL (imported)	0.0 CY
TOTAL EARTHWORK	38.7 CY

DATA IS APPROXIMATE AND IS PROVIDED FOR BALTIMORE CITY REVIEW ONLY. CONTRACTOR TO VERIFY DATA AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

LEGEND

EXISTING FEATURES	PROPOSED FEATURES
[Symbol] BUILDING	[Symbol] LIMIT OF DISTURBANCE
[Symbol] PROPERTY LINE	[Symbol] PROPOSED CONTOUR
[Symbol] TRAVERSE POINT	[Symbol] LIMIT OF DISTURBANCE
[Symbol] MAJOR (5-FT) CONTOUR	[Symbol] CROSSWALK STRIPING
[Symbol] MINOR (1-FT) CONTOUR	[Symbol] ORNAMENTAL METAL FENCE
[Symbol] SANITARY MANHOLE	[Symbol] ASPHALT PAVEMENT
[Symbol] STORM DRAIN MANHOLE	[Symbol] ASPHALT MILL & OVERLAY
[Symbol] LIGHT POLE	[Symbol] CONCRETE PAVEMENT
[Symbol] WATER METER	[Symbol] SPOT ELEVATION
[Symbol] ROOF DRAIN TO CURB (3")	[Symbol] HIGH POINT OF GRASS CHANNEL
[Symbol] FIRE HYDRANT	[Symbol] LOW POINT OF GRASS CHANNEL
[Symbol] WATER VALVE	[Symbol] TOP OF CURB
[Symbol] HAND HOLE	[Symbol] BOTTOM OF CURB
[Symbol] CHAIN LINK FENCE	[Symbol] MEET EXISTING GRADE
[Symbol] OVERHEAD ELECTRIC	
[Symbol] WATER LINE (QLC)	
[Symbol] UNDERGROUND TELEPHONE	
[Symbol] SANITARY MAIN (QLC)	
[Symbol] WATER LINE (QLD)	
[Symbol] SANITARY MAIN (QLD)	
[Symbol] UNDERGROUND ELECTRIC	

LANDSCAPE ARCHITECT:
ENVIROCOLLAB, LLC
111 E 25TH STREET, SUITE 1A
BALTIMORE, MD 21218
PHONE: 410-956-9278

ENGINEER:
CITYSCAPE ENGINEERING, LLC
3000 CHESTNUT AVE
SUITE #112
BALTIMORE, MD 21211
PHONE: 410-601-3290

DEVELOPER/APPLICANT:
SOUTH BALTIMORE GATEWAY PARTNERSHIP
101 W. DICKMAN STREET
STE 1000
BALTIMORE, MD 21230
PHONE: 410-424-7593

PROPERTY OWNER:
MAYOR AND CITY COUNCIL
100 N HOLLIDAY STREET
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: CJ CHECKED: XXX

DESIGNED: KL

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: _____
EXP. DATE: _____

PROJECT INFORMATION:
610 W CONWAY STREET
BALTIMORE, MD 21230
WARD 22, SECTION 060
BLOCK 0861, LOT 005
COUNCIL DISTRICT #11

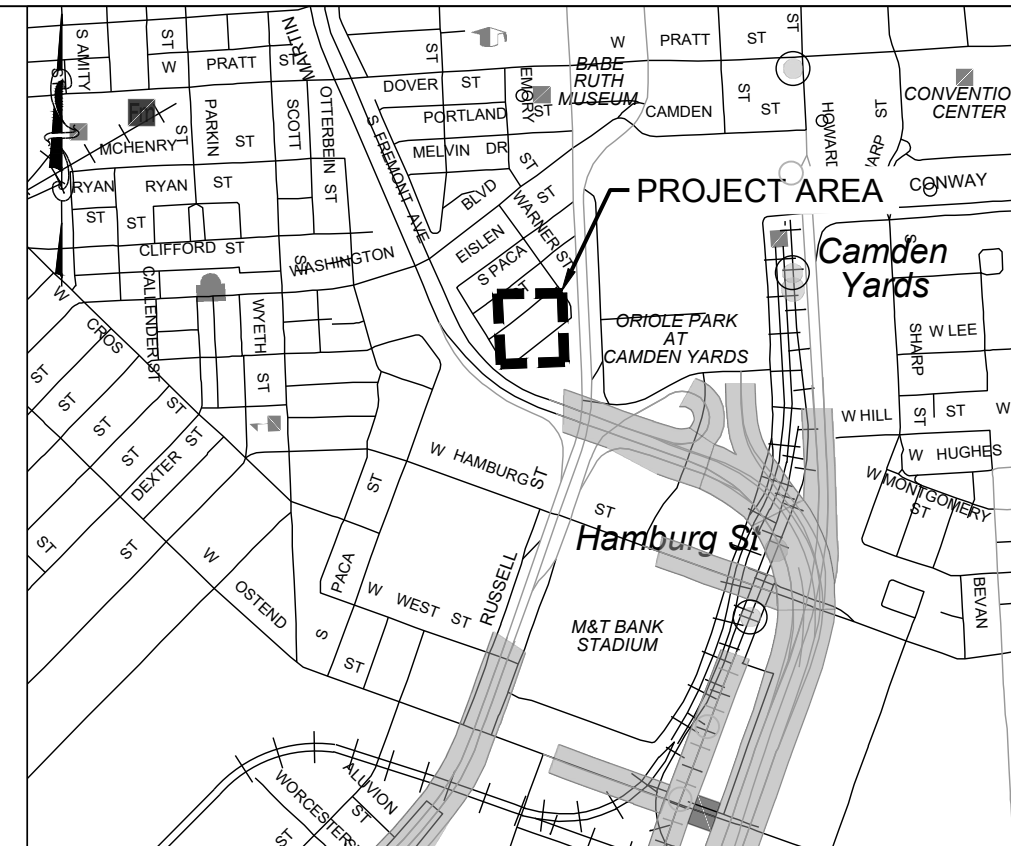
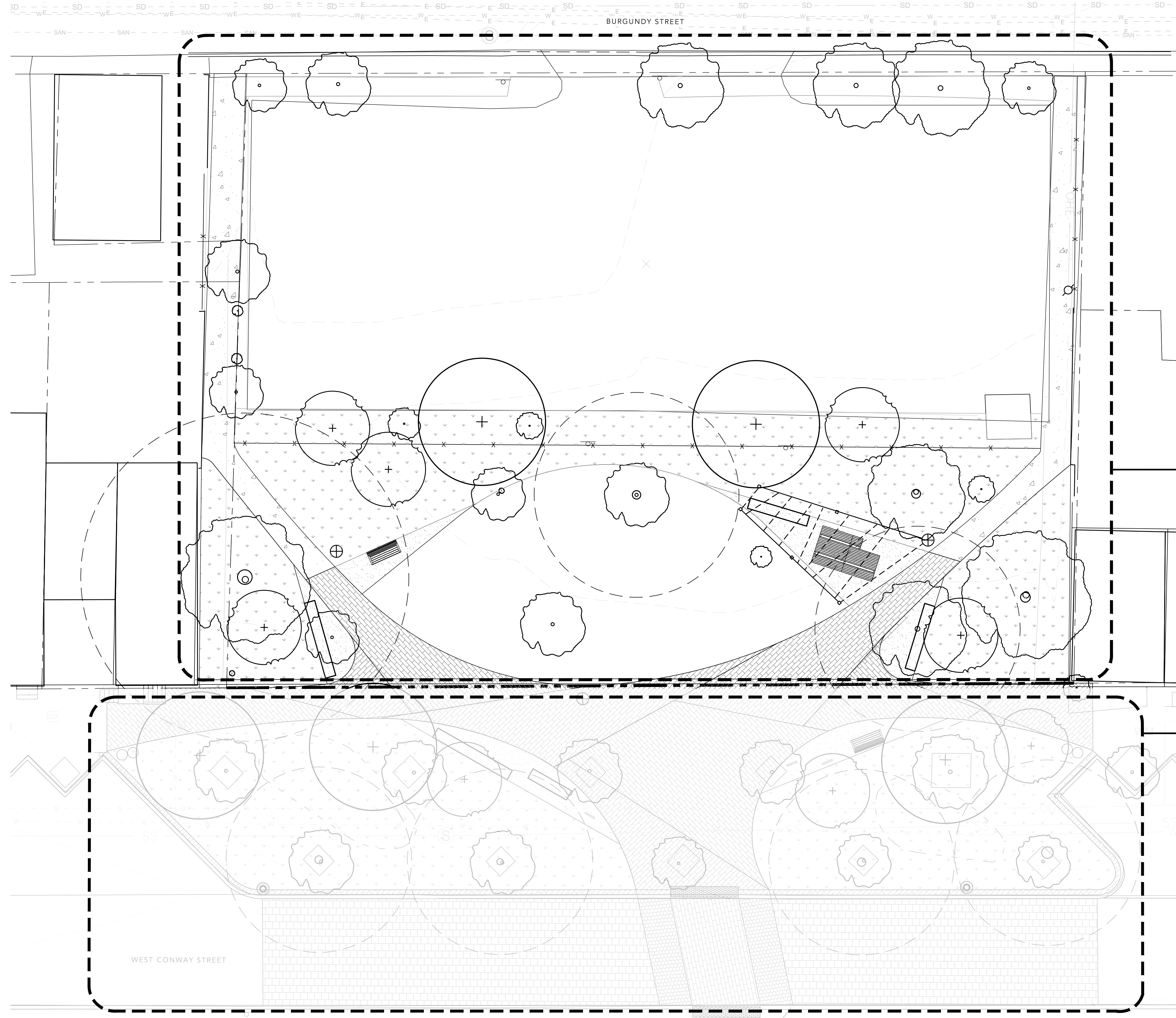
#PLAN NO.: TBD

DATE: OCTOBER 2023

PROJECT NO.: 23-10

SHEET TITLE:
PROPOSED SITE PLAN

DWG. NO.:
C-200



VICINITY MAP
SOURCE: SHA GRID MAP D-12B
SCALE 1"=1000'

SITE 1: ONSITE PARCEL
MATERIALS PLAN SEE 1/L102
LAYOUT PLANS SEE 1/L103, 1/L104
PLANTING PLAN SEE 1/301

SITE 2: DOT R.O.W. PARCEL

GENERAL NOTES
1. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SITE PLAN AND SPECS.
2. REFER TO CIVIL DRAWINGS FOR GRADING, DRAINAGE, UTILITIES, EROSION + SEDIMENT CONTROL, DEMOLITION, AND TREE PROTECTION PLANS.

LANDSCAPE ARCHITECT:
ENVIROCOLLAB, LLC
111 E 25TH STREET, SUITE 1A
BALTIMORE, MD 21218
PHONE: 443-956-9278



ENGINEER:
CITYSCAPE ENGINEERING, LLC
3000 CHESTNUT AVE
SUITE #112
BALTIMORE, MD 21230
PHONE: 410-601-3290



DEVELOPER/APPLICANT:
SOUTH BALTIMORE GATEWAY
PARTNERSHIP
101 W. DICKMAN STREET
STE 1000
BALTIMORE, MD 21230
PHONE: XXX-XXX-XXXX

PROPERTY OWNER:
MAYOR AND CITY COUNCIL
100 N HOLLIDAY STREET
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: JS CHECKED: HT, CO

DESIGNED: JS, HT

PROJECT INFORMATION:

610 W CONWAY STREET
BALTIMORE, MD 21230
WARD 22, SECTION 060
BLOCK 0861, LOT 005
COUNCIL DISTRICT #11

ePLAN NO.: N/A

DATE: DECEMBER 2023

PROJECT NO.: N/A

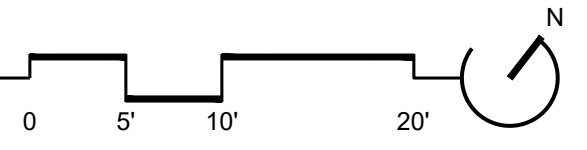
SHEET TITLE:

KEY PLAN

DWG. NO.:

L101

1 KEY PLAN - ON SITE
SCALE: 1" = 10'



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION.

HARDSCAPE & AMENITIES LEGEND

PAVING.

- P1** **1** **BRICK PAVING: CUSTOM PATTERN**
 4"x8" x 2 1/4" SALVAGED AND REUSED PAVER LAID IN CUSTOM PATTERN ON BITUMINOUS SETTING BED W/ CONCRETE BASE
- P1** **ALT 1**
 NEW BRICK
- P1** **ALT 2**
 4" THICK SCORED DECORATIVE CONCRETE PAVING ON COMPACTED GRADED AGGREGATE BASE
- P2** **2** **STONE DUST PAVING**
 OVER COMPACTED AGGREGATE
- P3** **3** **CONCRETE PAVING**
 4" THICK SCORED CONCRETE PAVING ON 4" COMPACTED, GRADED AGGREGATE SUBBASE

WALLS & CURBS.

- W1** **4** **PRECAST CONCRETE SEAT WALL**
 10'L x 24" D x 18" H MOLDED CONCRETE SEATWALL ON CONCRETE SLAB

FURNISHINGS & FEATURES.

- F1** **5** **WOOD + METAL BENCH**
 PREFABRICATED; XXXXXX APPROX. 6' L
- F2** **6** **ADA WOOD + METAL COMMUNITY DINING TABLE W/ BENCHES**
 PREFABRICATED; XXXXXX

LIGHTING.

- L1** **7** **POLE LIGHT**
 12' HEIGHT DECORATIVE POLES
- L2** **8** **STRING LIGHTING**
 STRUNG BETWEEN WOODEN POLES

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

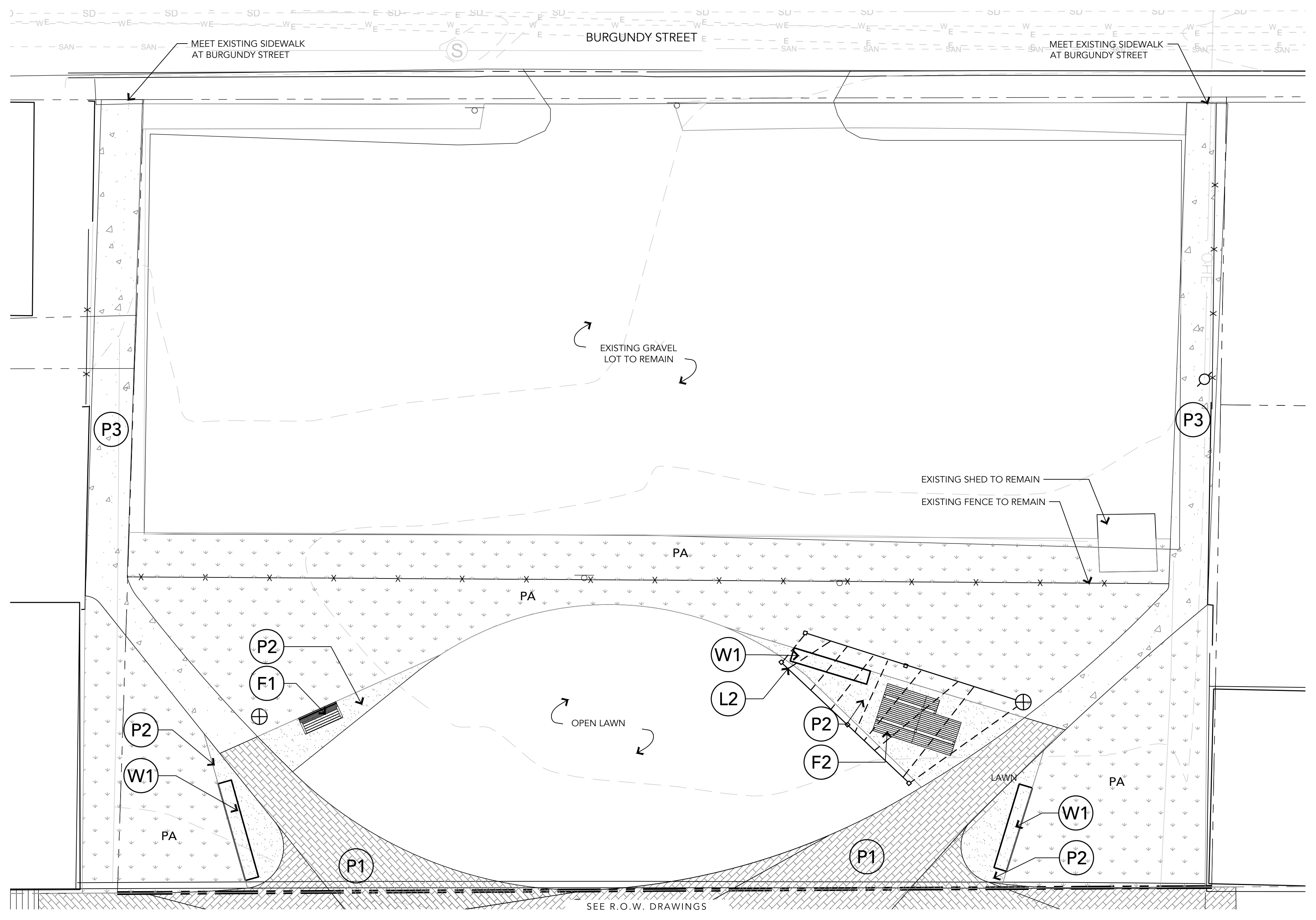
DRAWN: JS CHECKED: HT, CO
 DESIGNED: JS, HT

PROJECT INFORMATION:
 610 W CONWAY STREET
 BALTIMORE, MD 21230
 WARD 22, SECTION 060
 BLOCK 0861, LOT 005
 COUNCIL DISTRICT #11

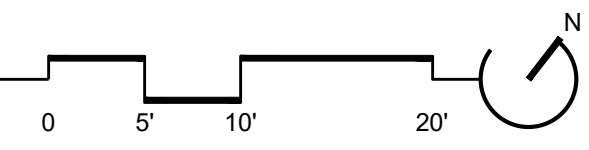
ePLAN NO.: N/A
 DATE: DECEMBER 2023
 PROJECT NO.: N/A

SHEET TITLE:
MATERIALS PLAN

DWG. NO.:
L102



1 MATERIALS PLAN
 SCALE: 1" = 10'



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION.



NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: JS CHECKED: HT, CO
 DESIGNED: JS, HT

PROJECT INFORMATION:

610 W CONWAY STREET
 BALTIMORE, MD 21230
 WARD 22, SECTION 060
 BLOCK 0861, LOT 005
 COUNCIL DISTRICT #11

#PLAN NO.: N/A

DATE: DECEMBER 2023

PROJECT NO.: N/A

SHEET TITLE:

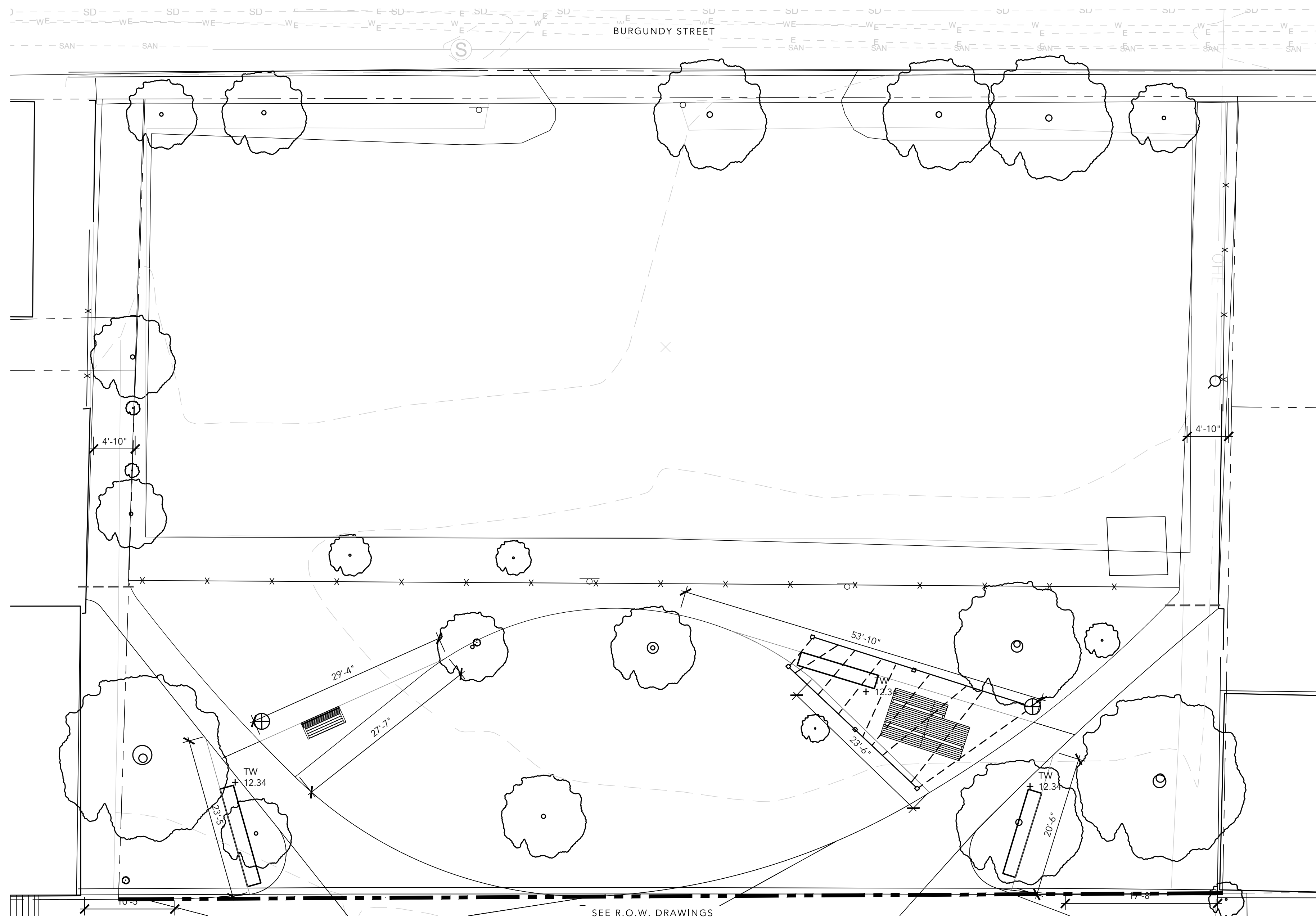
LAYOUT PLAN -
 PAVING

DWG. NO.:

L103

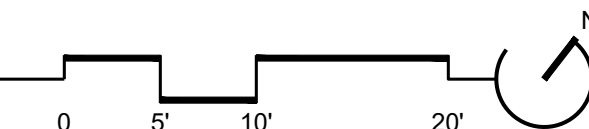
LAYOUT LEGEND

- ☉ CENTER LINE
- ALIGN
- - - - - EJ EXPANSION JOINT (@ CONCRETE PAVING)
- CONTROL JOINT (@ CONCRETE PAVING)
- LP LOW POINT
- TW TOP OF WALL
- BW BOTTOM OF WALL (@ FINISH GRADE)
- TC TOP OF CURB
- BC BOTTOM OF CURB
- SLOPE DIRECTION
- + SPOT ELEVATION
- ⊕ POINT OF BEGINNING



- LAYOUT NOTES.**
- REFER TO L-102 FOR HARDSCAPE MATERIALS PLAN AND L-103 FOR PAVING PLAN.
 - REFER TO L-301 FOR PLANTING PLAN.
 - REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING.
 - THIS PLAN REFLECTS TOP OF WALL ELEVATIONS ONLY (AS IT RELATES TO ADJACENT COURTYARD GRADE); REFER TO CIVIL DRAWINGS FOR EXISTING CONDITIONS AND TOPOGRAPHY, FINAL PAVING GRADES, AND ALL DRAIN LOCATIONS.
 - PAVER PATTERNS & PAVING SCORING (CONTROL JOINTS) SHOWN ON L-101 REPRESENT PATTERNS TO BE INSTALLED; ORIENT PATTERNS AS SHOWN. SEE DETAIL 1/L-201 FOR PAVER PATTERN ENLARGEMENT, AND 2/L-103 FOR CONCRETE PAVEMENT SCORING LAYOUT.
 - PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, AND STAIR EDGES; REFER TO STRUCTURAL DRAWINGS.
 - EXPANSION JOINTS AT UNIT PAVERS ARE LOCATED IN SLAB BELOW; REFER TO STRUCTURAL DRAWINGS.
 - PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, AND STAIR EDGES; REFER TO STRUCTURAL DRAWINGS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT AND CONSTRUCTION OF ALL SITE WALLS, STAIRS, RAILINGS, FENCING AND GATES FOR REVIEW BY ARCHITECT AND LANDSCAPE ARCHITECT.

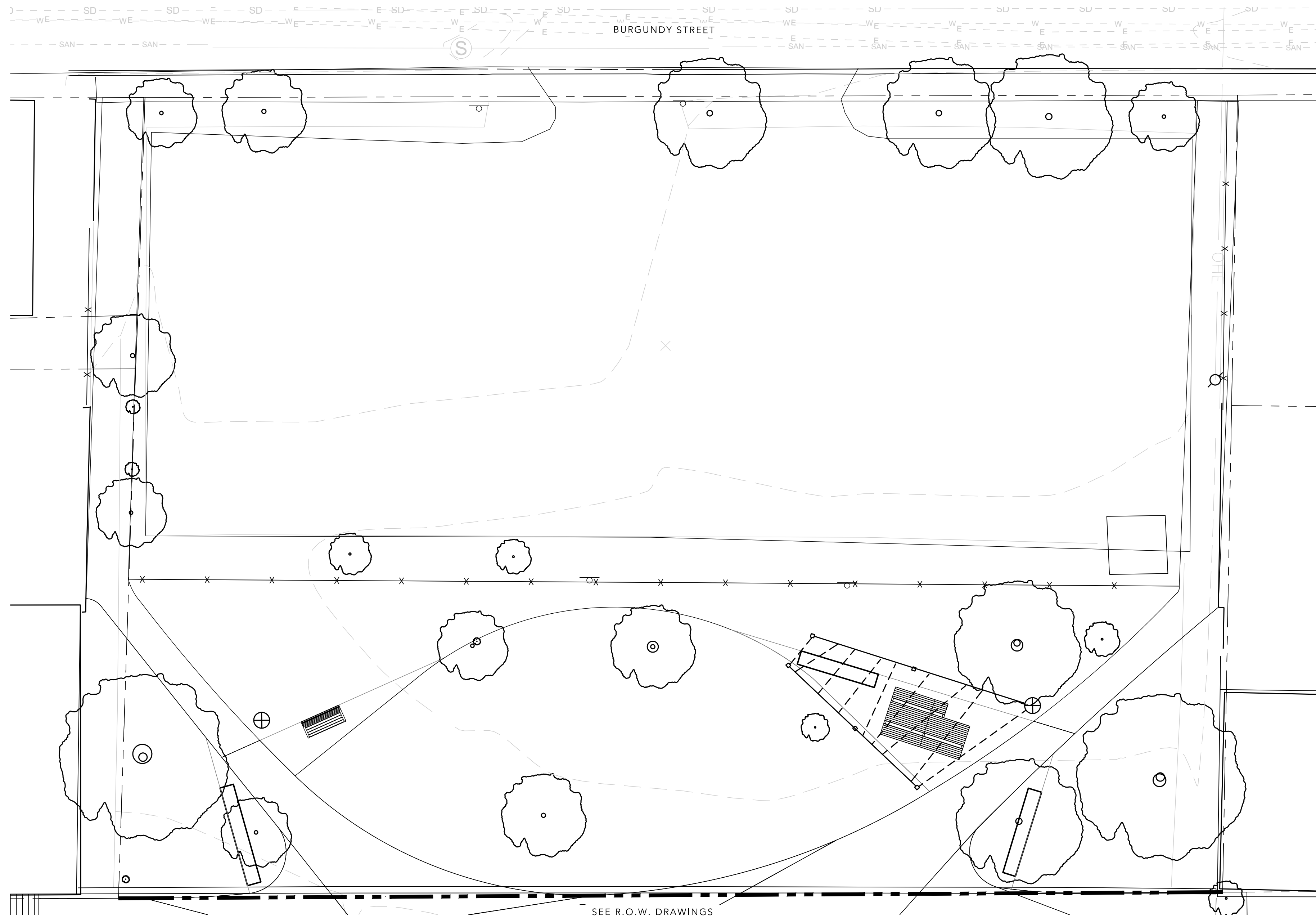
1 LAYOUT PLAN: PAVING
 SCALE: 1" = 10'



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION.

LAYOUT LEGEND

- CENTER LINE
- ALIGN
- EXPANSION JOINT (@ CONCRETE PAVING)
- CONTROL JOINT (@ CONCRETE PAVING)
- LOW POINT
- TOP OF WALL
- BOTTOM OF WALL (@ FINISH GRADE)
- TOP OF CURB
- BOTTOM OF CURB
- SLOPE DIRECTION
- SPOT ELEVATION
- POINT OF BEGINNING



- LAYOUT NOTES.**
1. REFER TO L-102 FOR HARDSCAPE MATERIALS PLAN AND L-103 FOR PAVING PLAN.
 2. REFER TO L-301 FOR PLANTING PLAN.
 3. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING.
 4. THIS PLAN REFLECTS TOP OF WALL ELEVATIONS ONLY (AS IT RELATES TO ADJACENT COURTYARD GRADE); REFER TO CIVIL DRAWINGS FOR EXISTING CONDITIONS AND TOPOGRAPHY, FINAL PAVING GRADES, AND ALL DRAIN LOCATIONS.
 5. PAVER PATTERNS & PAVING SCORING (CONTROL JOINTS) SHOWN ON L-101 REPRESENT PATTERNS TO BE INSTALLED; ORIENT PATTERNS AS SHOWN. SEE DETAIL 1/L-201 FOR PAVER PATTERN ENLARGEMENT, AND 2/L-103 FOR CONCRETE PAVEMENT SCORING LAYOUT.
 6. PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, AND STAIR EDGES; REFER TO STRUCTURAL DRAWINGS.
 7. EXPANSION JOINTS AT UNIT PAVERS ARE LOCATED IN SLAB BELOW; REFER TO STRUCTURAL DRAWINGS.
 8. PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, AND STAIR EDGES; REFER TO STRUCTURAL DRAWINGS.
 9. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT AND CONSTRUCTION OF ALL SITE WALLS, STAIRS, RAILINGS, FENCING AND GATES FOR REVIEW BY ARCHITECT AND LANDSCAPE ARCHITECT.

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: JS CHECKED: HT, CO
 DESIGNED: JS, HT

PROJECT INFORMATION:

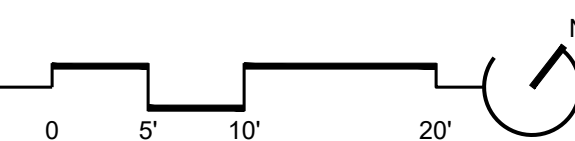
 610 W CONWAY STREET
 BALTIMORE, MD 21230
 WARD 22, SECTION 060
 BLOCK 0861, LOT 005
 COUNCIL DISTRICT #11

#PLAN NO.: N/A
 DATE: DECEMBER 2023
 PROJECT NO.: N/A

SHEET TITLE:
LAYOUT PLAN - AMENITIES

DWG. NO.:
L104

1 LAYOUT PLAN: SITE AMENITIES
 SCALE: 1" = 10'



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION.



PRODUCT:
SALVAGED BRICK PAVERS FROM EXISTING SITE PAVING IN R.O.W. SUPPLEMENT AS NEEDED WITH NEW BRICK TO MATCH.

ALT 1:
NEW BRICK

MANUFACTURER:
TBD

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. SEE L103 FOR PAVING PATTERN
 3. SEE L102 FOR ALT. MATERIAL OPTION
 4. PAVERS TO BE LAID ON 1" BITUMINOUS SETTING BED W/ 4" CONCRETE BASE & 4" COMPACTED, GRADED AGGREGATE SUBBASE.
 5. PROVIDE STEEL EDGING OR FLUSH DECORATIVE CONCRETE BAND.



PRODUCT:
STABILIZED STONE DUST
COLOR: MEDIUMGRAY

MANUFACTURER:
TBD

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. COMPACTED, GRADED AGGREGATE BASE.
 3. PROVIDE STEEL EDGING OR FLUSH DECORATIVE CONCRETE BAND



PRODUCT:
CAST IN PLACE CONCRETE WITH DECORATIVE SAWCUT PATTERN.

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. COMPACTED, GRADED AGGREGATE BASE

1 PAVING: SALVAGED + NEW BRICK

N.T.S.

2 PAVING: STABILIZED STONE DUST

N.T.S.

3 PAVING: CAST IN PLACE CONCRETE

N.T.S.



PRODUCT:
10'L x 24"D x 18" H MOLDED CONCRETE SEATWALL ON CONCRETE SLAB

MANUFACTURER:
TBD

- NOTES:**
1. SEE PLAN FOR LOCATION.



PRODUCT:
MONOLINE SOLID SERIES BENCH, 6' L. (ML-SS-BENCH-72). THERMALLY MODIFIED ASH SLATS, ALUMINUM FRAME, CUSTOM POWDERCOAT FINISH (COLOR TBD). CUSTOMIZE WITH FULL BACKREST SLATS TO SEAT LEVEL.

MANUFACTURER:
SITE PIECES
DENVER, COLORADO
SITEPIECES.COM
800.484.0797

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. SURFACE MOUNT.

4 PRECAST CONCRETE SEAT WALL

N.T.S.

5 STANDALONE BENCH

N.T.S.



PRODUCT:
MONOLINE SOLID SERIES COMMUNITY TABLE, 144" L. (ML-SS-CMTEXT-144) THERMALLY MODIFIED ASH SLATS, ALUMINUM FRAME, CUSTOM POWDERCOAT FINISH (COLOR TBD). CUSTOMIZED FOR ONE-SIDE ADA ACCESS.

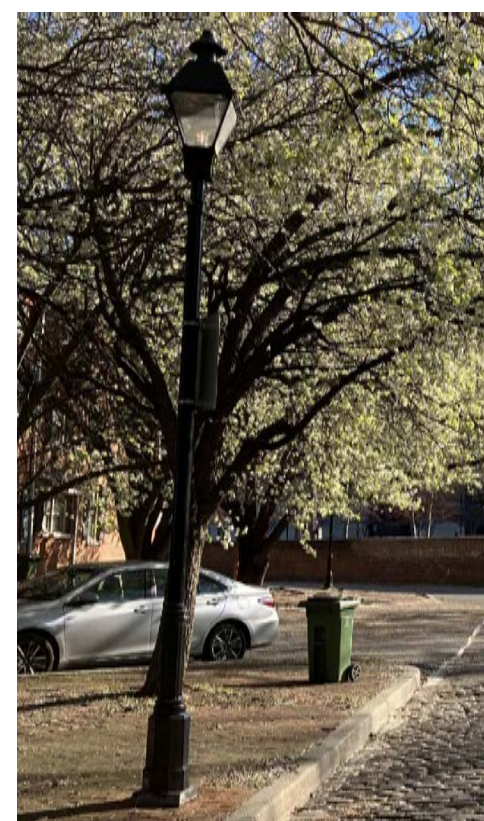
MANUFACTURER:
SITE PIECES
DENVER, COLORADO
SITEPIECES.COM
800.484.0797

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. SURFACE MOUNT ON CONCRETE FOOTINGS BENEATH STONE DUST

PRODUCT:
MONOLINE FLAT BENCH, NO ARMRESTS 6' L. (ML-FLAT-72). THERMALLY MODIFIED ASH SLATS, ALUMINUM FRAME, CUSTOM POWDERCOAT FINISH (COLOR TBD)

MANUFACTURER:
SITE PIECES
DENVER, COLORADO
SITEPIECES.COM
800.484.0797

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. SURFACE MOUNT ON CONCRETE FOOTINGS BENEATH STONE DUST.



PRODUCT:
BALTIMORE CITY STANDARD HISTORIC DISTRICT POLE LIGHT TO MATCH EXISTING IN CONWAY STREET PARK AND DOT R.O.W.

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. EMBEDDED MOUNT.
 3. PROVIDED AND INSTALLED BY BALTIMORE CITY DOT.

7 LIGHTING: POLE

N.T.S.



PRODUCT:
STRING LIGHTING W/ WOODEN POSTS, 10' H.

MANUFACTURER:
LIGHTING ENVIRONMENTS

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. EMBEDDED MOUNT.

8 LIGHTING: STRING

N.T.S.

6 COMMUNITY TABLE W/ BENCHES

SCALE: N.T.S.

LANDSCAPE ARCHITECT:
ENVIROCOLLAB, LLC
111 E 25TH STREET, SUITE 1A
BALTIMORE, MD 21218
PHONE: 443-956-9278



ENGINEER:
CITYSCAPE ENGINEERING, LLC
3000 CHESTNUT AVE
SUITE #112
BALTIMORE, MD 21211
PHONE: 410-601-3290



DEVELOPER/APPLICANT:
SOUTH BALTIMORE GATEWAY PARTNERSHIP
101 W. DICKMAN STREET
STE 1000
BALTIMORE, MD 21230
PHONE: XXX-XXX-XXXX

PROPERTY OWNER:
MAYOR AND CITY COUNCIL
100 N HOLLIDAY STREET
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: JS CHECKED: HT, CO

DESIGNED: JS, HT

PROJECT INFORMATION:

610 W CONWAY STREET
BALTIMORE, MD 21230
WARD 22, SECTION 060
BLOCK 0861, LOT 005
COUNCIL DISTRICT #11

#PLAN NO.: N/A

DATE: DECEMBER 2023

PROJECT NO.: N/A

SHEET TITLE:
**HARDSCAPE
DETAILS**

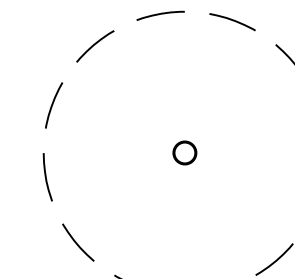
DWG. NO.:
L201

FOR INFORMATION ONLY; NOT FOR CONSTRUCTION.

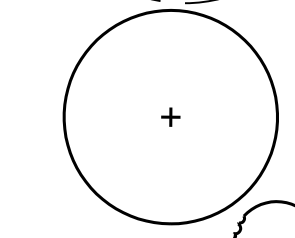
PLANTING LEGEND



PLANTING AREA (40% SHRUBS,
60% PERENNIALS + GRASSES)



EXISTING SHADE TREE TO BE PRESERVED



PROPOSED SHADE TREE

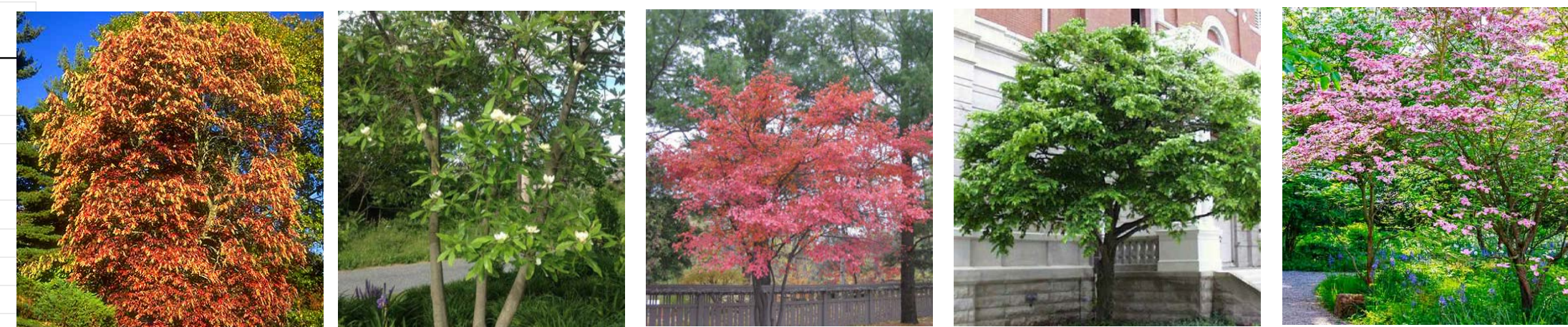


PROPOSED ORNAMENTAL TREE

PROPOSED TREE PLANTING:

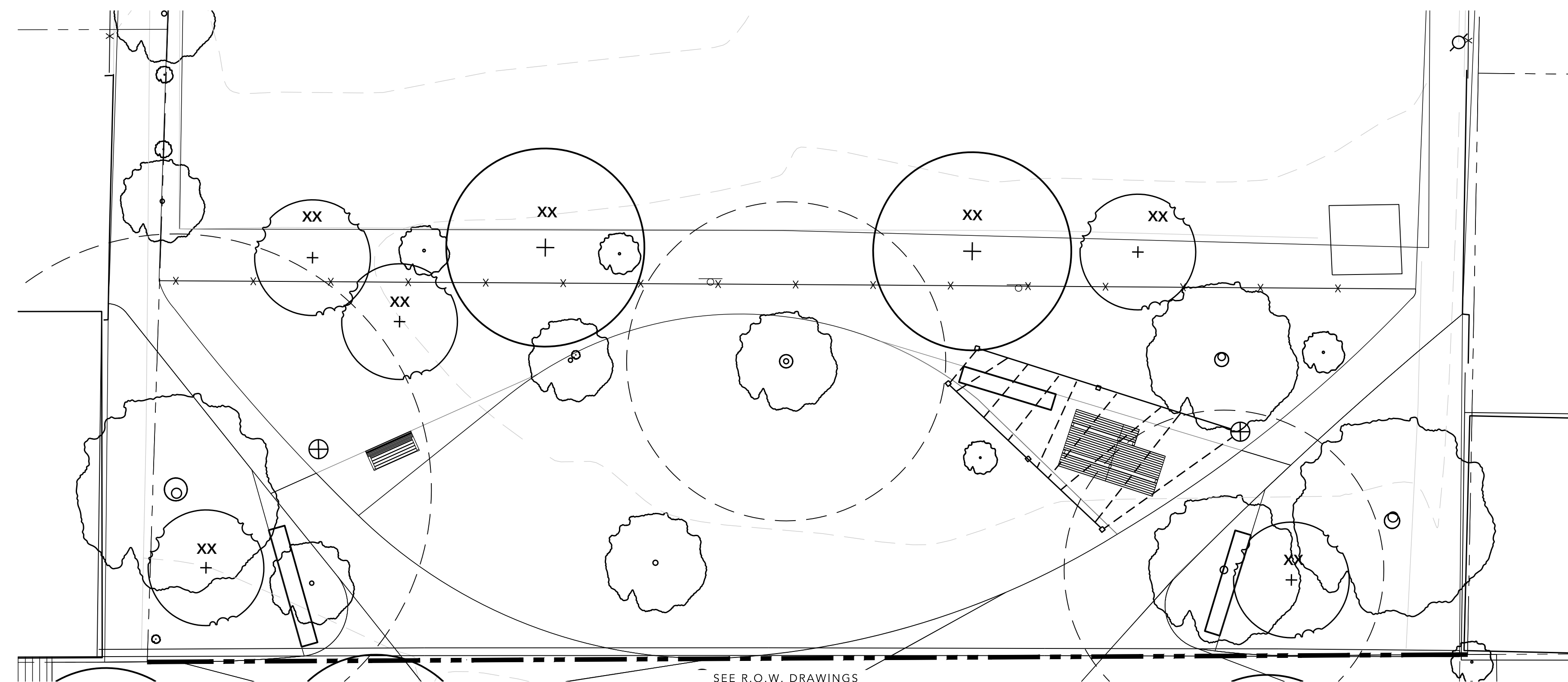
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
CANOPY TREES.						
2	OA	<i>Oxydendrum arboreum</i>	Sourwood	2" Cal.	B&B/Cont.	0
ORNAMENTAL TREES.						
1	AG	<i>Amelanchier grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance' Serviceberry	8' Ht.	B&B/Cont.	Multi-stem, 3-5 canes, full canopy
1	CC	<i>Carpinus caroliniana</i>	American Hornbeam	8' Ht.	B&B/Cont.	Single-stem, full canopy
2	CF	<i>Cornus florida</i>	Flowering Dogwood	8' Ht.	B&B/Cont.	Single-stem, full canopy
1	MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia	8' Ht.	B&B/Cont.	Single-stem, full canopy

PROPOSED SPECIES PALETTE



PROPOSED SHRUB + GROUNDCOVER PLANTING (DESIGN AND QUANTITIES TBD)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
SHRUBS.						
0	IN	<i>Itea virginica 'Little Henry'</i>	Dwarf Virginia Sweetspire	#3	Cont.	24" ht., 3' O.C.
0	CA	<i>Clethra alnifolia 'Sugartina Crystalina'</i>	Dwarf Summersweet	#3	Cont.	24" ht., 3' O.C.
0	IV	<i>Ilex verticillata 'Red Sprite/Jim Dandy'</i>	Dwarf Winterberry	#3	Cont.	24" ht., 3' O.C.
0	FG	<i>Fothergilla gardenii</i>	Dwarf Witch-Alder	#3	Cont.	24" ht., 3' O.C.
0	RA	<i>Rhus aromatica 'Gro-Low'</i>	Aromatic Sumac	#3	Cont.	24" ht., 3' O.C.
ORNAMENTAL GRASSES, SEDGES, + RUSHES.						
0	CPE	<i>Carex pensylvanica</i>	Pennsylvania Sedge	#1	Cont.	18" O.C.
0	DCE	<i>Deschampsia cespitosa 'Goldtau'</i>	Tufted Hairgrass	#1	Cont.	18" O.C.
0	PVI	<i>Panicum virgatum 'Shenandoah'</i>	Switchgrass	#1	Cont.	18" O.C.
0	BGB	<i>Bouteloua gracilis 'Blonde Ambition'</i>	Blonde Ambition' Grama Grass	#1	Cont.	18" O.C.
0	CLA	<i>Chasmanthium latifolium</i>	Northern Sea-Oats	#1	Cont.	18" O.C.
0	SSS	<i>Schizachyrium scoparium 'Standing Ovation'</i>	Little Bluestem	#1	Cont.	18" O.C.
PERENNIALS.						
0	PDI	<i>Penstemon digitalis</i>	Foxglove Beardtongue	#1	Cont.	18" O.C.
0	HFR	<i>Heuchera 'Frosted Violet'</i>	Frosted Violet' Coral Bells	#1	Cont.	18" O.C.
0	SYO	<i>Symphoricarum oblongifolium 'October Skies'</i>	October Skies' Aromatic Aster	#1	Cont.	18" O.C.
0	AST	<i>Asclepias tuberosa</i>	Butterflyweed	#1	Cont.	18" O.C.
0	EUP	<i>Eutrochium purpureum</i>	Sweet-Scented Joe Pye Weed	#1	Cont.	18" O.C.
0	RFU	<i>Rudbeckia fulgida 'Little Goldstar'</i>	Little Goldstar' Black-Eyed Susan	#1	Cont.	18" O.C.



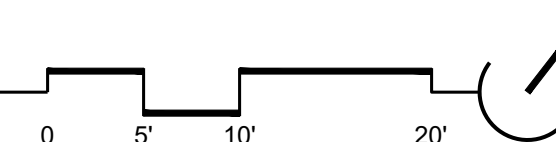
SEE R.O.W. DRAWINGS

PLANTING NOTES.

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE **CONTRACT DOCUMENTS, PLANS, AND/OR SPECIFICATIONS.**
2. ALL PLANT MATERIALS SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION. ANY PLANT MATERIAL EXHIBITING A SPINDLY OR LOP-SIDED HABIT OR ANY OTHER FEATURE THAT DETRACTS FROM ITS HEALTH OR APPEARANCE WILL BE REJECTED.
3. ALL PLANTING OPERATIONS SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.
4. CONTRACTOR SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LANDSCAPED AREA PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONDITIONS ARISE IN THE FIELD WHICH NECESSITATE SHIFTING OF THE PLANT MATERIAL, THE LANDSCAPE ARCHITECT IS TO BE CONSULTED PRIOR TO RELOCATION.
5. OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT BEFORE MAKING ANY SUBSTITUTIONS OR CHANGES.
6. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING CONDITIONS, INCLUDING PLANTS, TURF, PAVING, AND STRUCTURES DURING PLANTING OPERATIONS. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS.
7. ALL AREAS DISTURBED BY CONSTRUCTION, GRADING, OR PLANTING OPERATIONS SHALL BE FINE GRADED AND PLANTED PER PLAN. **SOD OR SEED** ANY DISTURBED AREAS NOT INDICATED AS RECEIVING PLANTS OR PAVING.
8. PLACE PLANTS FOR BEST APPEARANCE FOR REVIEW AND FINAL ORIENTATION BY LANDSCAPE ARCHITECT.
9. ALL PLANT BEDS SHALL BE CONTAINED WITH A 4" DEEP SPACED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
10. ALL PLANT BEDS AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 2" UNLESS OTHERWISE NOTED ON DRAWINGS OR SPECIFICATIONS.
8. ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE CLEANED UP, REMOVED FROM THE PROJECT SITE, AND DISPOSED OF PROPERLY.

1 PLANTING PLAN

SCALE: 1" = 10'



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION.

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: JS CHECKED: HT, CO

DESIGNED: JS, HT

PROJECT INFORMATION:

610 W CONWAY STREET
 BALTIMORE, MD 21230
 WARD 22, SECTION 060
 BLOCK 0861, LOT 005
 COUNCIL DISTRICT #11

#PLAN NO.: N/A

DATE: DECEMBER 2023

PROJECT NO.: N/A

SHEET TITLE:

PLANTING PLAN

DWG. NO.:

L301



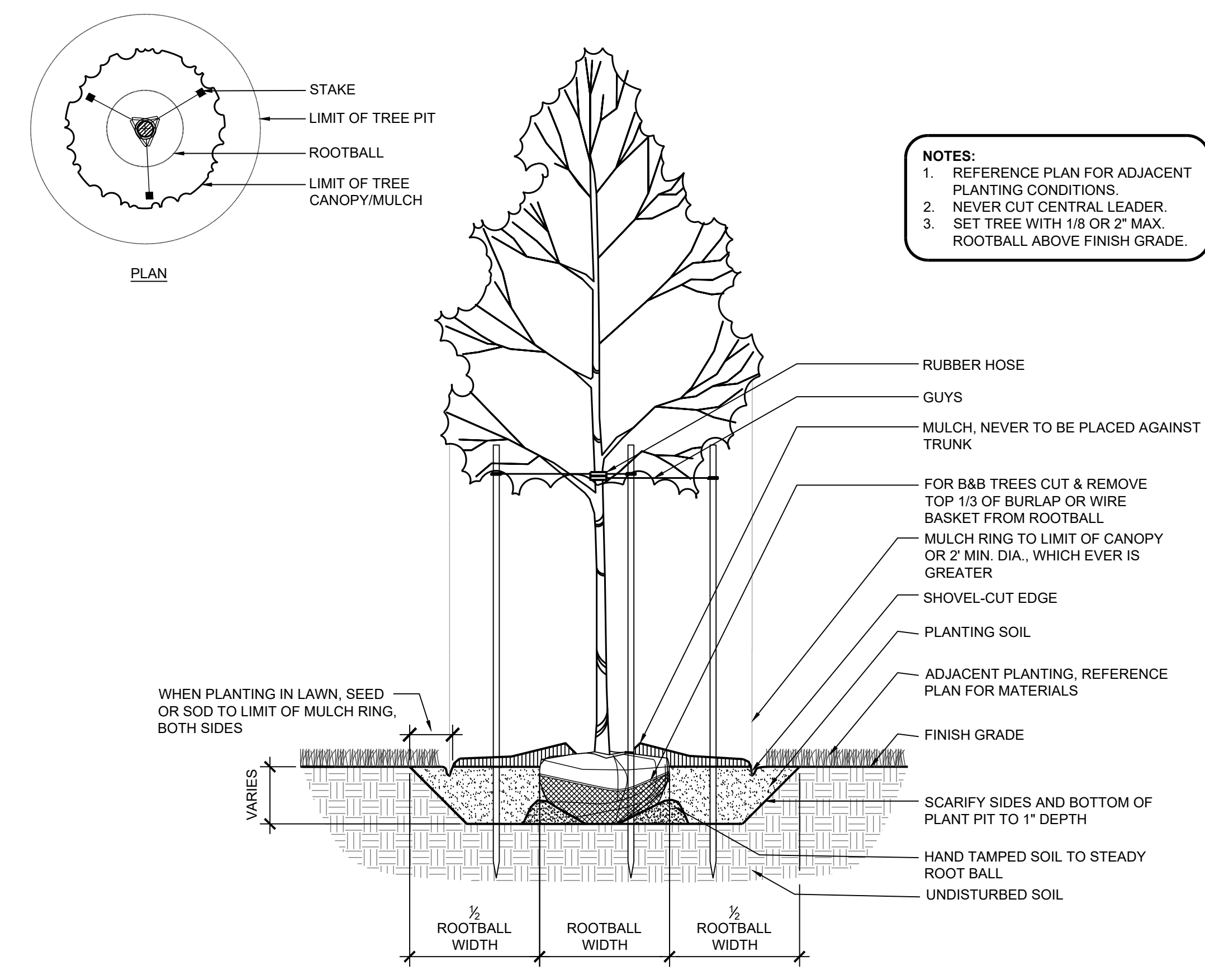
NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: JS CHECKED: HT, CO
 DESIGNED: JS, HT

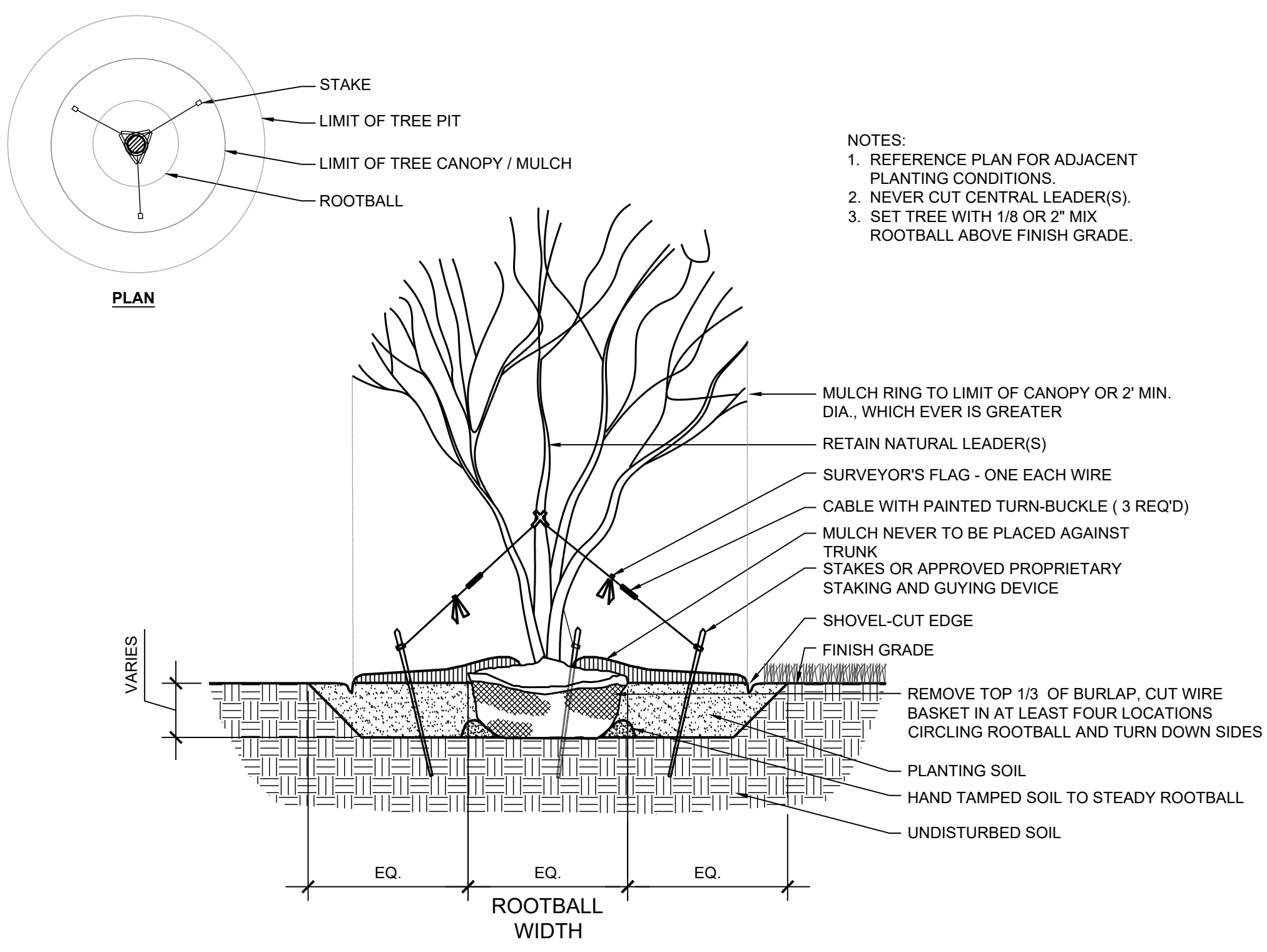
PROJECT INFORMATION:
 610 W CONWAY STREET
 BALTIMORE, MD 21230
 WARD 22, SECTION 060
 BLOCK 0861, LOT 005
 COUNCIL DISTRICT #11

ePLAN NO.: N/A
 DATE: DECEMBER 2023
 PROJECT NO.: N/A

SHEET TITLE:
PLANTING DETAILS
 DWG. NO.:
L401

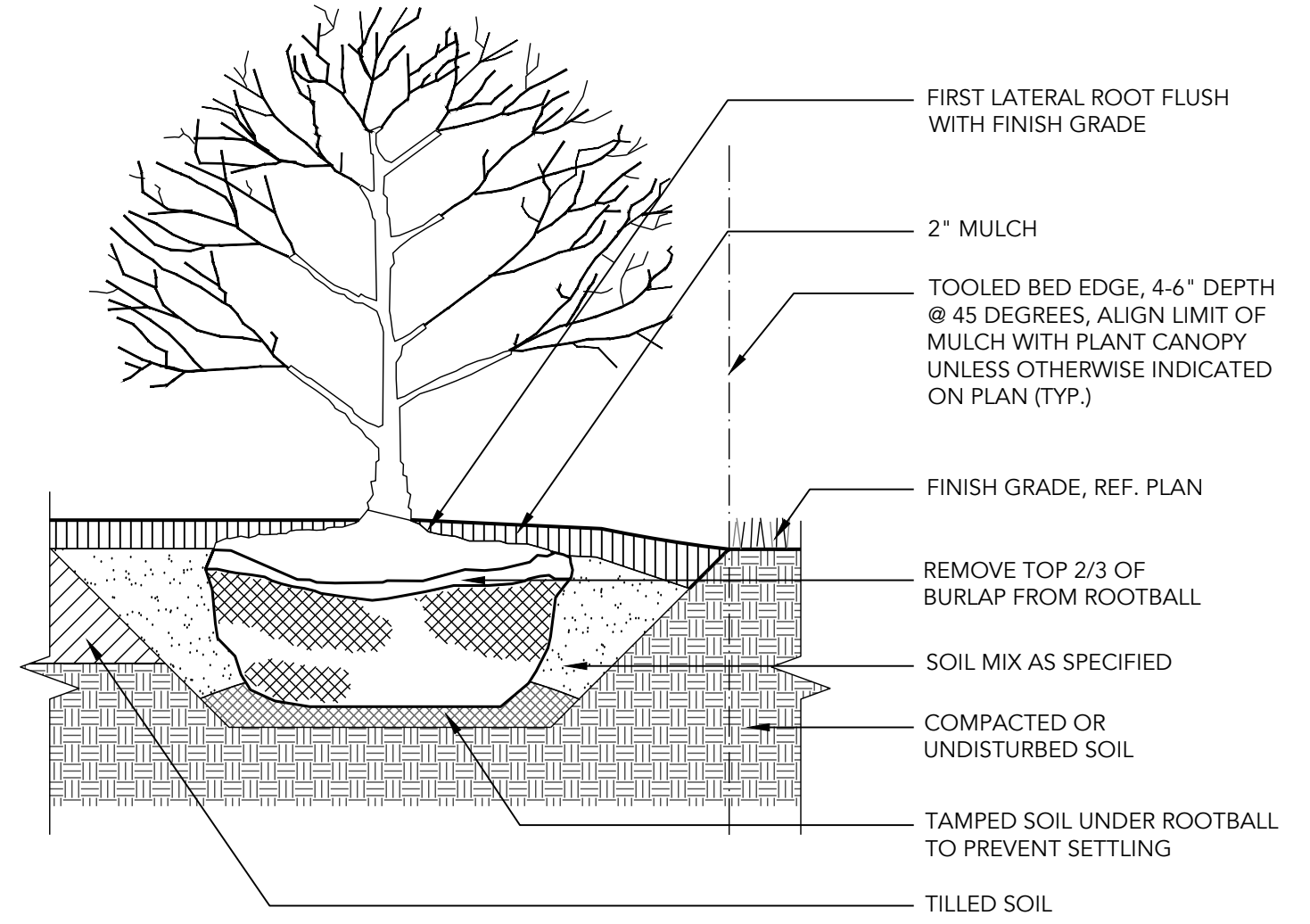


1 SINGLE STEM SHADE TREE PLANTING
 SCALE: 1" = 1/2'-0"

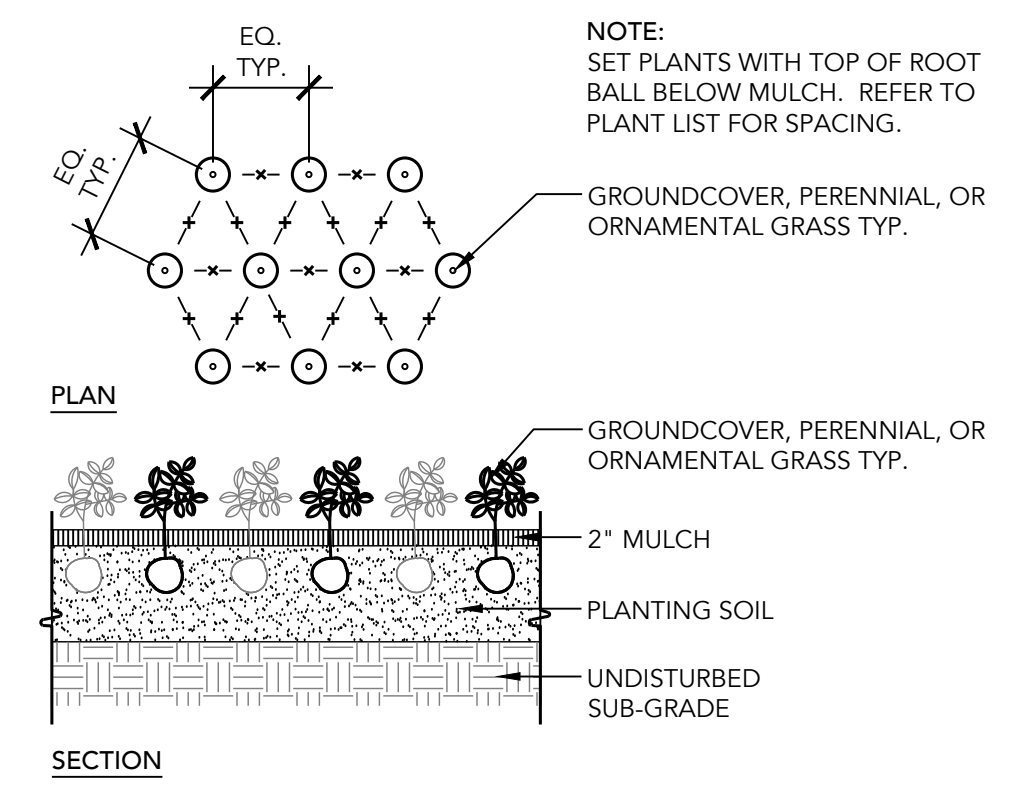


2 ORNAMENTAL TREE PLANTING
 SCALE: 1" = 1/2'-0"

- GENERAL SEQUENCE OF CONSTRUCTION:**
1. STAKE OUT PLANT/BED LOCATIONS.
 2. CUT EDGE OF PLANT BED.
 3. TILL SOIL TO DEPTH SPECIFIED AND APPLY AMENDMENTS TO ENTIRE PLANTING AREA.
 4. APPLY PRE-EMERGENT HERBICIDE (TWO WEEKS PRIOR TO PLANTING).
 5. INSTALL PLANTS.
 6. INSTALL FERTILIZER TABLETS IN EACH PLANT PIT.
 7. PLACE BACKFILL.
 8. WATER EACH INDIVIDUAL PLANT THOROUGHLY.
 9. PLACE MULCH OVER ENTIRE PLANT BED.
 10. WATER ENTIRE PLANT BED THOROUGHLY.



3 SHRUB PLANTING
 SCALE: 1" = 1'-0"



4 GROUNDCOVER PLANTING
 SCALE: 1" = 1'-0"

FOR INFORMATION ONLY; NOT FOR CONSTRUCTION.

SOIL PREPARATION NOTES.

THESE NOTES SERVE AS A GENERAL GUIDE ONLY, PER CSI SPECIFICATION SECTION 329113 (SOIL PREPARATION); REFER TO EROSION AND SEDIMENT CONTROL NOTES, SHEET C-303 FOR DETAILED INSTRUCTIONS ON SITE CLEARING, EROSION CONTROL, SOIL STORAGE, TESTING, PRODUCTS AND EXECUTION PROCEDURES.

1. THE CONTRACTOR SHALL ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM PRECONSTRUCTION SOIL ANALYSIS ON EXISTING, ON-SITE SOIL AND IMPORTED SOIL. SOIL ANALYSIS/REPORT TO PROVIDE RECOMMENDATIONS ON: SOIL AMENDMENT, INCLUDING RECOMMENDATIONS FOR NITROGEN, PHOSPHORUS, AND POTASSIUM FERTILIZATION, AND FOR MICRONUTRIENTS; FERTILIZERS; SOIL-FERTILITY ANALYSIS ACCORDING TO SSSA NAPT SERA-6; AND ORGANIC MATTER CONTENT ACCORDING TO SSSA'S METHOD OF SOIL ANALYSIS PART 3 CHEMICAL METHODS. RECOMMENDATIONS TO BE PROVIDED IN WEIGHT PER 1000 SF FOR 6 INCH DEPTH OF SOIL.
2. SOIL MATERIALS TO BE DELIVERED PACKAGED IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, NAME AND ADDRESS OF MANUFACTURER, AND COMPLIANCE WITH STATE AND FEDERAL LAWS IF APPLICABLE; APPROPRIATE CERTIFICATES TO ACCOMPANY DELIVERY OF BULK FERTILIZERS AND AMENDMENTS.
3. DO NOT DUMP/STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, PAVEMENT, OR EXISTING TURF OR PLANT AREAS; PROVIDE EROSION CONTROL MEASURES AS NEEDED.
4. BASED ON SOIL AGENCY RECOMMENDATION, PROVIDE EITHER AMENDED ON-SITE SURFACE SOIL, OR IMPORTED MANUFACTURER SOIL CONSISTING OF MANUFACTURER'S BASIC SANDY LOAM ACCORDING TO USDA TEXTURES, BLENDED IN A FACILITY WITH SAND, STABILIZED ORGANIC SOIL AMENDMENTS, AND OTHER MATERIALS TO PRODUCE VABLE PLANTING SOIL. SOIL MUST NOT CONTAIN ANY EXTRANEOUS MATERIALS THAT COULD BE HARMFUL TO PLANT GROWTH, NOR ANY STONES, ROOTS, POCKETS OF COURSE SAND, ETC., EXCEEDING 1 1/2 INCHES IN ANY DIMENSION.
5. BLEND EITHER AMENDED ONSITE SOIL OR IMPORTED SOIL WITH LOOSE COMPACT TO SOIL RATIO OF 1:4 BY VOLUME.
6. APPLY INORGANIC AND ORGANIC SOIL AMENDMENTS AND FERTILIZERS PER RECOMMENDATION OF QUALIFIED SOIL TESTING AGENCY.
7. FOR EITHER PLACING AND MIXING PLANTING SOIL OVER EXPOSED SUBGRADE, OR PLACING MANUFACTURED PLANTING SOIL OVER EXPOSED SUBGRADE: TILL SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES; APPLY HALF OF THICKNESS OF PLANTING SOIL OVER PREPARED, LOOSENED SUBGRADE, MIXING INTO TOP 4 INCHES OF SUBGRADE; SPREAD REMAINDER OF PLANTING SOIL TO TOTAL DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT; COMPACT EACH LIFT OF PLANTING SOIL TO 75 TO 82 PERCENT OF MAXIMUM STANDARD PROCTOR DENSITY ACCORDING TO ASTM D698 EXCEPT WHERE DIFFERENT COMPACTION IS INDICATED ON DRAWINGS; GRADE PLANTING SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE; AND ROLL AND RAKE TO REMOVE RIDGES AND FILL DEPRESSIONS TO MEET FINISH GRADES.
8. IDENTIFY PROTECTION ZONES ACCORDING TO SECTION 015639 (TEMPORARY TREE AND PLANT PROTECTION), AND PROHIBIT PRACTICES IN THESE AREAS SUCH AS STORAGE OF MATERIALS, PARKING VEHICLES OR EQUIPMENT, VEHICLE OR FOOT TRAFFIC, ERECTION OF STRUCTURES, IMPOUNDMENT OF WATER, AND EXCAVATION.
9. IF PLANTING SOIL OR SUBGRADE IS OVERCOMPACTED, DISTURBED, OR CONTAMINATED BY FOREIGN OR DELETERIOUS MATERIALS OR LIQUIDS, REMOVE THE PLANTING SOIL AND CONTAMINATION AND RESTORE SUBGRADE AND REPLACE CONTAMINATED PLANTING SOIL WITH NEW PLANTING SOIL.
10. PROTECT AREAS ADJACENT TO PLANTING SOIL PREPARATION AND PLACEMENT AREAS FROM CONTAMINATION. KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
11. REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SUBSOIL, UNSUITABLE MATERIALS, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY UNLESS OTHERWISE INDICATED.

PLANTING NOTES.

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
2. ALL PLANT MATERIALS SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION. ANY PLANT MATERIAL EXHIBITING A SPINDLY OR LOP-SIDED HABIT OR ANY OTHER FEATURE THAT DETRACTS FROM ITS HEALTH OR APPEARANCE WILL BE REJECTED.
3. ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.
4. CONTRACTOR SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LANDSCAPED AREA PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONDITIONS ARISE IN THE FIELD WHICH NECESSITATES SHIFTING OF THE PLANT MATERIAL, THE LANDSCAPE ARCHITECT IS TO BE CONSULTED PRIOR TO RELOCATION.
5. OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT BEFORE MAKING ANY SUBSTITUTIONS OR CHANGES.
6. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, TURF AND STRUCTURES. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS. ALL AREAS DISTURBED BY PLANTING OR GRADING OPERATIONS SHALL BE FINE GRADED AND SEEDED OR SODDED. ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND CLEANED UP.
7. PLACE PLANTS FOR BEST APPEARANCE FOR REVIEW AND FINAL ORIENTATION BY LANDSCAPE ARCHITECT.
8. ALL PLANT BEDS SHALL BE CONTAINED WITH A 4" DEEP SPACED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
9. ALL PLANT BEDS AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 2" UNLESS OTHERWISE NOTED ON DRAWINGS OR SPECIFICATIONS.

MAINTENANCE.

REQUIRED LANDSCAPING MUST BE KEPT ALIVE AND HEALTHY TO CONTINUE TO MEET THE REQUIREMENTS OF THE BALTIMORE CITY LANDSCAPE MANUAL AND THE ZONING CODE. PROPER MAINTENANCE AND IRRIGATION MUST BE PROVIDED FOR ALL INSTALLED LANDSCAPING.

THE MAINTENANCE OF PLANTS INSTALLED IS REQUIRED FOR SUCCESSFUL LANDSCAPING. PLANTS CANNOT BE INSTALLED AND LEFT ALONE, ESPECIALLY IN URBAN ENVIRONMENTS WHERE THEY MAY BE SUBJECT TO HIGH TEMPERATURES, HARSH ENVIRONMENTS, AND PHYSICAL ABUSE. GIVEN THE STRESSES AND RIGORS TO WHICH PLANTS ARE SUBJECTED, PLANTS MAY REQUIRE REPLACEMENT. A TWO-YEAR REPLACEMENT WARRANTY IS REQUIRED FOR ALL PLANTS AND A MAINTENANCE CONTRACT IS ENCOURAGED TO PROMOTE THE ESTABLISHMENT OF PLANTS AND ENCOURAGE PROPER LANDSCAPE MAINTENANCE. BEYOND THE WARRANTY PERIOD, THE CONTINUED MAINTENANCE OF THE LANDSCAPE IS THE RESPONSIBILITY OF THE PROPERTY OWNER FOR THE LIFE OF THE PROJECT.

REQUIREMENTS FOR LANDSCAPE MAINTENANCE ARE AS FOLLOWS:

- MAINTENANCE OF LANDSCAPED AREAS INCLUDES, BUT IS NOT LIMITED TO WEEDING, MULCHING, MOWING, TRIMMING, PRUNING, EDGING, CULTIVATION, SEEDING, FERTILIZATION, WATERING, PEST CONTROL, AND ANY OTHER MAINTENANCE NECESSARY TO ENSURE HEALTHY, VIGOROUS PLANT GROWTH AND WELL-KEPT PROPERTY CONDITION.
- LANDSCAPING ELEMENTS SUCH AS WALLS AND FENCES SHALL BE CONSTRUCTED IN A SOUND WORKMANLIKE MANNER WITH ADEQUATE SUPPORT OR FOOTINGS AND MUST BE REPAIRED OR REPLACED AS NEEDED TO PRESERVE AN ATTRACTIVE APPEARANCE AND TO FUNCTION AS INTENDED.
- ANY DEAD PLANTS OR PLANTS WHICH FAIL TO SHOW HEALTHY GROWTH MUST BE REMOVED AND REPLACED WITHIN 60 DAYS OF IDENTIFICATION OF DETERIORATED HEALTH OR NOTIFICATION BY THE CITY. REPLACEMENT MAY BE DELAYED UNTIL THE NEXT GROWING SEASON ONLY IF THE 60 DAY PERIOD OCCURS DURING A TIME OF YEAR NOT SUITABLE FOR PLANTING.
- ALL REPLACEMENT PLANTS MUST MEET THE SIZE AND OTHER CHARACTERISTICS OF NEWLY PLANTED MATERIAL AS REQUIRED IN THE MANUAL.
- TREES AND LARGE SHRUBS MUST BE ADEQUATELY SUPPORTED, WHEN NECESSARY TO INSURE PROPER GROWTH. TREE STAKING MUST BE REMOVED PRIOR TO FINAL INSPECTION, WITH THE EXCEPTION OF PLANTS REPLACED DURING THE WARRANTY PERIOD AND NOT YET ESTABLISHED.
- IT IS DESIRABLE TO AVOID EXCESSIVE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES TO MINIMIZE IMPACTS ON WATER QUALITY. IT IS RECOMMENDED THAT FERTILIZER APPLICATION BE NEED-BASED RATHER THAN AS AN AUTOMATIC COMPONENT OF MAINTENANCE SCHEDULES AND WHEN APPROPRIATE, SLOW-RELEASE OR NATURAL FERTILIZERS BE SELECTED OVER HIGHLY-SOLUBLE CHEMICAL FERTILIZERS.
- APPLICATION OF HERBICIDES AND PESTICIDES SHALL BE PERFORMED BY A CERTIFIED PROFESSIONAL ONLY.
- THE IMPLEMENTATION OF AN INTEGRATED PEST MANAGEMENT (IPM) PROGRAM IS RECOMMENDED TO PREVENT AND TREAT PEST PROBLEMS.

IRRIGATION.

ALL PLANTS NEED SUPPLEMENTAL WATER DURING THE FIRST AND SECOND GROWING SEASONS TO ESTABLISH THEIR ROOT SYSTEMS; HOWEVER, A PERMANENT IRRIGATION SYSTEM IS NOT REQUIRED. A GENERAL GUIDELINE FOR ESTABLISHMENT IS TO PROVIDE IRRIGATION AT A RATE OF ONE INCH OF WATER PER WEEK, INCLUDING THAT THROUGH RAINFALL. RECOMMENDED TECHNIQUES TO REDUCE WATER REQUIREMENTS AND APPROVED METHODS FOR THE PROVISION OF WATER SUPPLY TO PLANTS INCLUDE THE FOLLOWING:

IRRIGATION METHODS.

1. THE USE AND MAINTENANCE OF DRIP IRRIGATION BAGS OR RINGS AROUND THE TRUNKS OF NEWLY-PLANTED TREES.
2. HAND WATERING, WITH WATER SOURCES PROVIDED THROUGH EITHER OR BOTH OF THE FOLLOWING METHODS:
 - EXTERIOR FAUCETS ON A BUILDING, LOCATED SO THAT THE FARTHEST PLANTING CAN BE REACHED BY A LENGTH OF HOSE (100 FEET RECOMMENDED).
 - A QUICK-COUPLING SYSTEM, WITH CONNECTIONS LOCATED SO THAT THE FARTHEST PLANTING CAN BE REACHED BY A LENGTH OF HOSE (100 FEET RECOMMENDED).
 - A WATER TANK OR TRUCK.
3. AN AUTOMATIC IRRIGATION SYSTEM WITH A MOISTURE-SENSING DEVICE AND/OR RAIN SHUT-OFF SWITCH. IF USING AN AUTOMATIC IRRIGATION SYSTEM, THE FOLLOWING REQUIREMENTS SHALL BE MET:
 - ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE VANDALISM.
 - SPRINKLERS MUST NOT OVER-SPRAY ONTO PAVEMENT. SPRINKLER AND SPRAY HEADS ARE NOT PERMITTED FOR PLANTING AREAS LESS THAN 8 FEET IN WIDTH, TO PREVENT OVERSPRAY AND RUN-OFF. OTHER IRRIGATION METHODS SHALL BE SPECIFIED IN SUCH AREAS.
 - PLACE LAWN AREAS IN A SEPARATE IRRIGATION ZONE FROM SHRUB AND GROUND COVER BEDS, SO THAT EACH PLANTING TYPE CAN RECEIVE ADEQUATE IRRIGATION WITHOUT OVER-WATERING AREAS WITH LOWER IRRIGATION NEEDS.
 - DRIP IRRIGATION IS RECOMMENDED FOR SHRUB AND GROUND COVER BEDS. DRIP IRRIGATION SHALL BE USED IN AREAS SMALLER THAN FIVE FEET IN ANY DIRECTION.
4. THE USE OF RAINWATER HARVESTING TECHNIQUES COMBINED WITH THE USE OF HARVESTED RAINWATER FOR LANDSCAPE IRRIGATION IS ENCOURAGED.

LANDSCAPE ARCHITECT:

ENVIROCOLLAB, LLC
111 E 25TH STREET, SUITE 1A
BALTIMORE, MD 21218
PHONE: 443-956-9278



ENGINEER:

CITYSCAPE ENGINEERING, LLC
3000 CHESTNUT AVE
SUITE #112
BALTIMORE, MD 21211
PHONE: 410-601-3290



DEVELOPER/APPLICANT:

SOUTH BALTIMORE GATEWAY PARTNERSHIP
101 W. DICKMAN STREET
STE 1000
BALTIMORE, MD 21230
PHONE: XXX-XXX-XXXX

PROPERTY OWNER:

MAYOR AND CITY COUNCIL
100 N HOLLIDAY STREET
BALTIMORE, MD 21202

NO.	REVISION	BY	DATE
1			
2			
3			
4			
5			
6			
7			
8			

DRAWN: JS CHECKED: HT, CO

DESIGNED: JS, HT

PROJECT INFORMATION:

610 W CONWAY STREET
BALTIMORE, MD 21230
WARD 22, SECTION 060
BLOCK 0861, LOT 005

COUNCIL DISTRICT #11

#PLAN NO.: N/A

DATE: DECEMBER 2023

PROJECT NO.: N/A

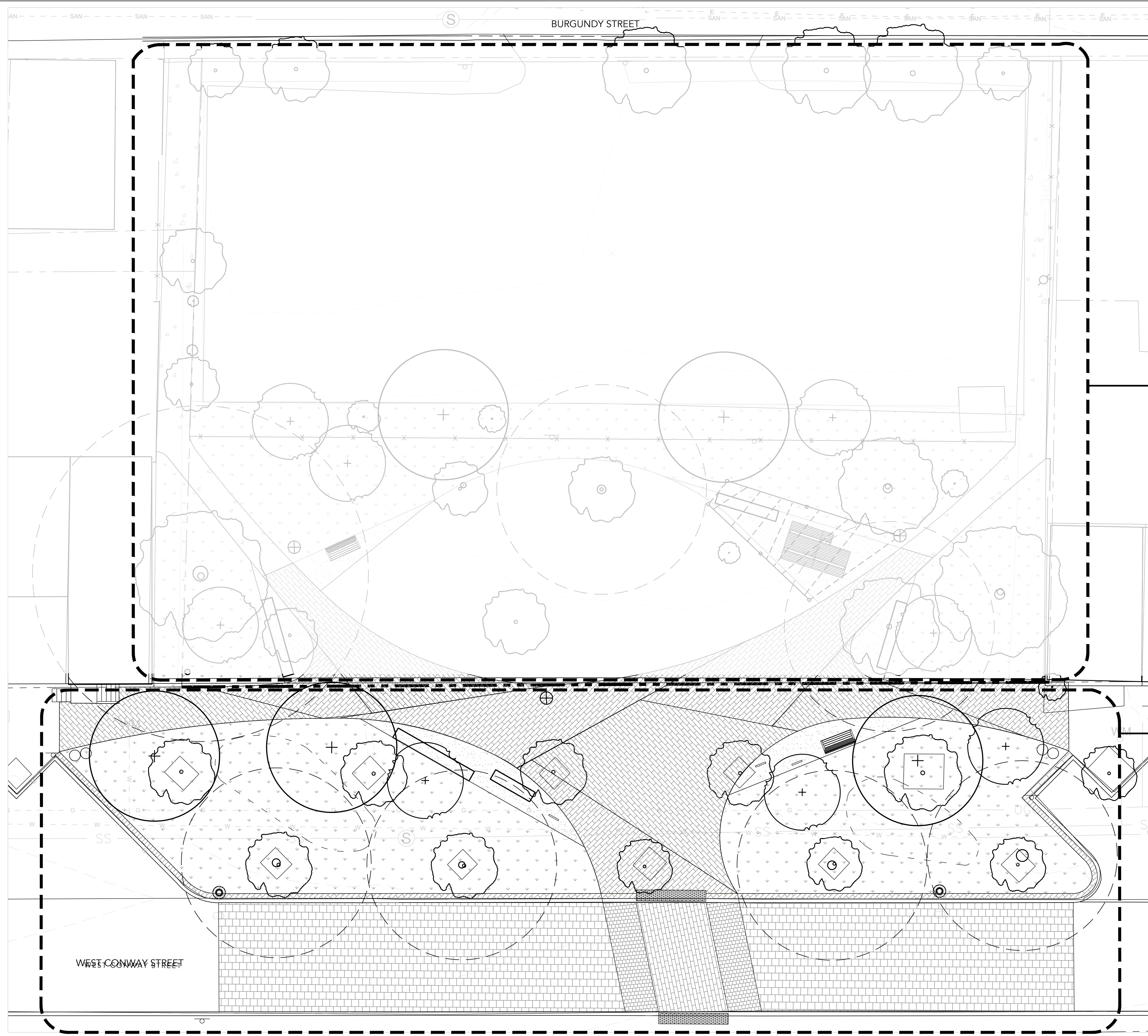
SHEET TITLE:

PLANTING NOTES

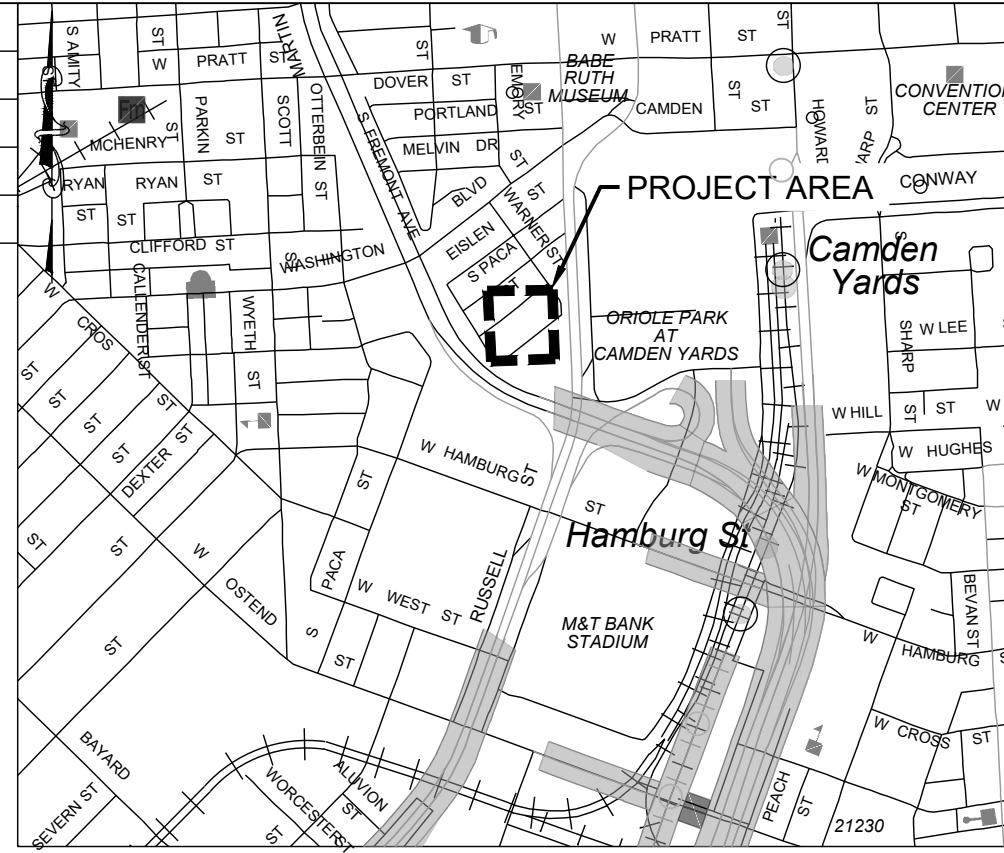
DWG. NO.:

L402

FOR INFORMATION ONLY; NOT FOR CONSTRUCTION.



AS-BUILT REVISIONS	NO.	DESCRIPTION	DATE	BY
BY:				
DATE:				



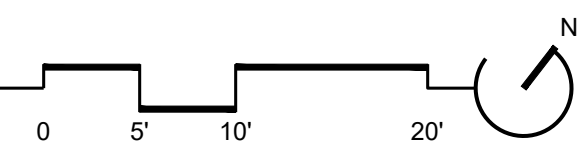
VICINITY MAP
SOURCE: SHA GRID MAP D-12B
SCALE 1"=1000'

PHASE 1: ON SITE

PHASE 2: DOT R.O.W. PARCEL (BY OTHERS)
MATERIALS PLAN SEE 1/L102R
LAYOUT PLANS SEE 1/L103R, 1/L104R
PLANTING PLAN SEE 1/L301R

GENERAL NOTES
1. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SITE PLAN AND SPECS.
2. REFER TO CIVIL DRAWINGS FOR GRADING, DRAINAGE, UTILITIES, EROSION + SEDIMENT CONTROL, DEMOLITION, AND TREE PROTECTION PLANS.

1 KEY PLAN - RIGHT OF WAY
SCALE: 1" = 10'



DESIGNED: JS, HT DRAWN: JS, CO CHECKED: HT, CO												WARD: 22	
SECTION: 060												SECT.	APP.
BLOCK: 0861													
LOT: 005													
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



APPLICANT/DEVELOPER
ADDRESS:
SOUTH BALTIMORE
GATEWAY PARTNERSHIP
101 W. DICKMAN STREET
STE 1000
BALTIMORE, MD 21230
PHONE: XXX-XXX-XXXX

ENGINEER
CITYSCAPE ENGINEERING, LLC
3000 CHESTNUT AVE.,
SUITE 112
BALTIMORE, MD 21211
PHONE: (410) 601-3290

OWNER
MAYOR AND CITY COUNCIL
100 N HOLLIDAY STREET
BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

**CONWAY STREET PARK
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS**

L101R

KEY PLAN - RIGHT OF WAY

PROPERTY ADDRESS:
610 W CONWAY STREET
BALTIMORE, MD 21230

SCALE: AS SHOWN
DATE: OF XX
DWG NAME: SHEET: OF XX

HARDSCAPE & AMENITIES LEGEND

PAVING.

- P1** **1** **BRICK PAVING: CUSTOM PAVING**
4"x8"x 2 1/4" SALVAGED AND REUSED PAVER LAID IN CUSTOM PATTERN ON BITUMINOUS SETTING BED W/ CONCRETE BASE
- P1** **ALT 1**
NEW BRICK
- P1** **ALT 2**
4" THICK SCORED DECORATIVE CONCRETE PAVING ON COMPACTED GRADED AGGREGATE BASE
- P2** **2** **STONE DUST PAVING**
OVER COMPACTED AGGREGATE
- P3** **3** **CONCRETE PAVING**
4" THICK SCORED CONCRETE PAVING ON 4" COMPACTED, GRADED AGGREGATE SUBBASE
- P4** **4** **BRICK PAVING: STANDARD RUNNING BOND**
XXX
- P5** **5** **DETECTABLE WARNING PAVERS**
2' WIDE MIN. TRUNCATED DOME PAVER AREA AT CURB RAMP TRANSITION; CUT PAVERS TO FIT

WALLS & CURBS.

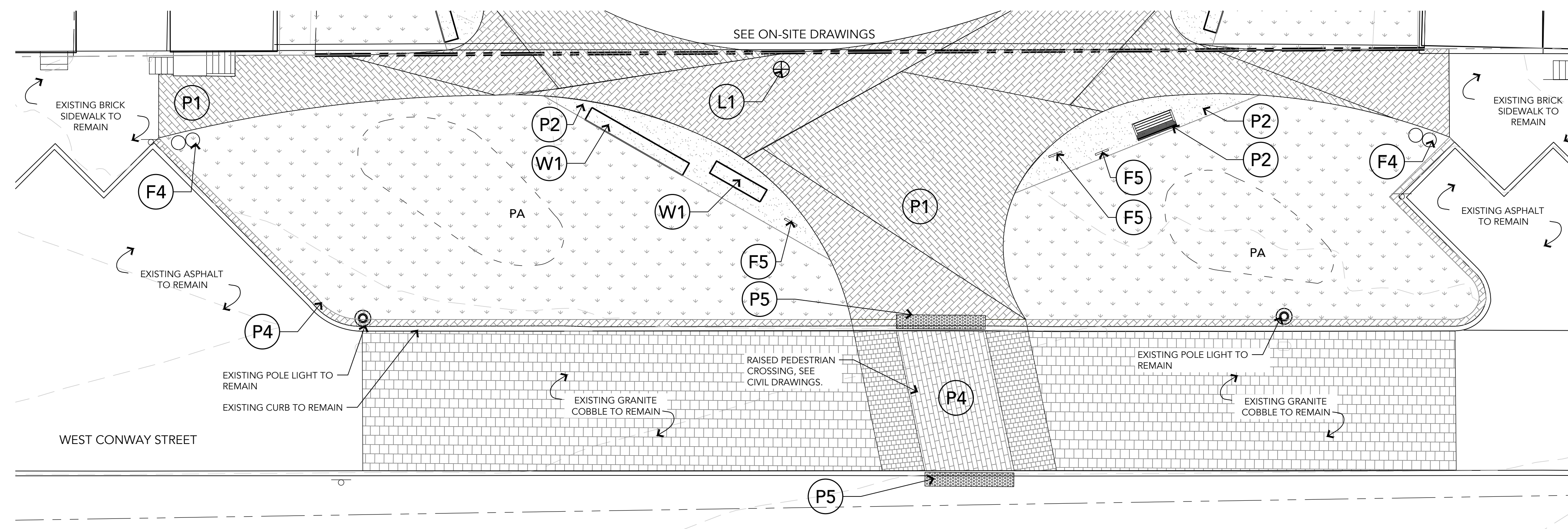
- W1** **6** **PRECAST CONCRETE SEAT WALL**
10'L x 24"D x 18" H MOLDED CONCRETE SEATWALL ON CONCRETE SLAB

FURNISHINGS & FEATURES.

- F1** **7** **WOOD + METAL BENCH**
PREFABRICATED;XXXXXX APPROX. 6' L
- F4** **8** **LITTER/RECYCLING RECEPTACLE**
PREFABRICATED; SURFACE MOUNT
- F5** **9** **BIKE RACK**
PREFABRICATED; SURFACE MOUNT

LIGHTING.

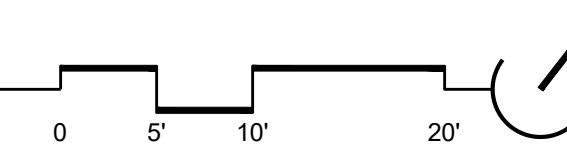
- L1** **10** **POLE LIGHT**
12' HEIGHT DECORATIVE POLES



- MATERIALS NOTES:**
- PA = PLANTING AREA; REFER TO L-301 FOR PLANTING PLAN.
 - REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL SITE PLAN AND SPECS.
 - REFER TO CIVIL DRAWINGS FOR GRADING, DRAINAGE, UTILITIES, EROSION + SEDIMENT CONTROL, DEMOLITION, AND TREE PROTECTION PLANS.
 - REFER TO CIVIL DRAWINGS FOR RAISED PEDESTRIAN CROSSING
 - CONTRACTOR TO SUBMIT SAMPLES AND PRODUCT INFORMATION FOR ALL PAVING, WALLS, AND FURNISHINGS FOR REVIEW BY LANDSCAPE ARCHITECT.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT AND CONSTRUCTION OF ALL SITE WALLS, STAIRS, RAILINGS, FENCING AND GATES FOR REVIEW BY ARCHITECT AND LANDSCAPE ARCHITECT.
 - REFER TO L103 AND L104 FOR LAYOUT + GRADING INFORMATION, L200 SERIES FOR HARDSCAPE DETAILS, AND L300 SERIES FOR PLANTING PLANS.
 - THIS DRAWING PACKAGE INCLUDES INFORMATION TO CONVEY MATERIALS SELECTIONS AND DESIGN INTENT INFORMATION. CONTRACTOR IS RESPONSIBLE FOR FINALIZING CONSTRUCTION DETAILING (VIA STAMPED SHOP DRAWINGS) DEPENDENT ON SURVEY AND FIELD-VERIFICATION OF EXISTING CONDITIONS SUCH AS UTILITIES, GRADES, ETC.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS WITH STRUCTURAL STAMP FOR LAYOUT AND CONSTRUCTION OF ALL VERTICAL HARDSCAPE ELEMENTS, INCLUDING SITE WALLS, STAIRS, RAILINGS, FENCING AND GATES, FOR REVIEW BY OWNER AND LANDSCAPE ARCHITECT.
 - IF PROPOSED SITE ELEMENTS ARE IN CONFLICT WITH EXISTING UTILITIES BASED ON CONTRACTOR'S FINDINGS, CONTRACTOR TO ALERT OWNER AND LANDSCAPE ARCHITECT IN WRITING TO DETERMINE ALTERNATE LOCATION.

1 MATERIALS PLAN

SCALE: 1" = 10'



DESIGNED: <u>JS, HT</u> DRAWN: <u>JS, CO</u> CHECKED: <u>HT, CO</u>										WARD: 22			
SECTION: 060										SECT.	APP.		
BLOCK: 0861													
LOT: 005													
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



APPLICANT/DEVELOPER	ENGINEER	OWNER
APPLICANT/DEVELOPER ADDRESS: SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 PHONE: XXX-XXX-XXXX	CITYSCAPE ENGINEERING, LLC 3000 CHESTNUT AVE., SUITE 112 BALTIMORE, MD 21211 PHONE: (410) 601-3290	OWNER ADDRESS MAYOR AND CITY COUNCIL 100 N HOLLIDAY STREET BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

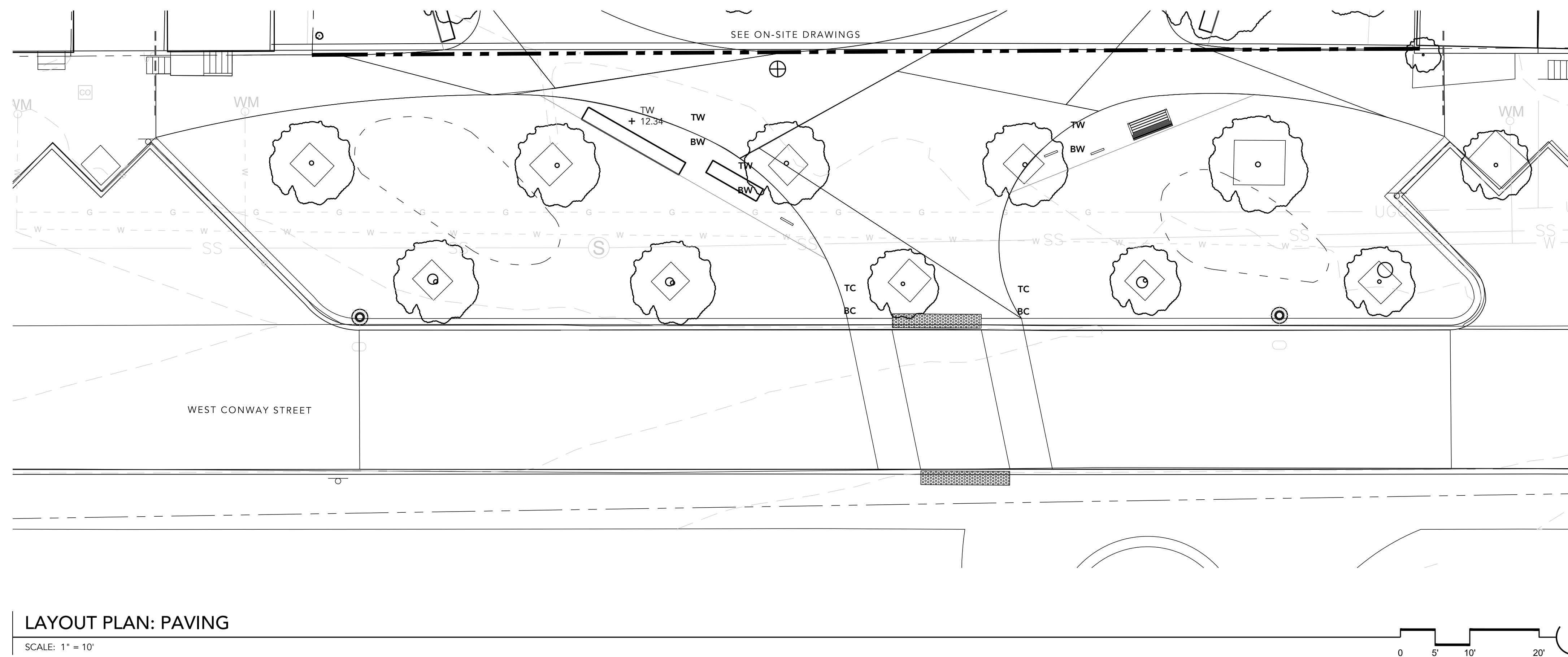
**CONWAY STREET PARK
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS**

L102R

MATERIALS PLAN
PROPERTY ADDRESS:
610 W CONWAY STREET
BALTIMORE, MD 21230

SCALE: AS SHOWN DATE: OF XX
DWG NAME: SHEET: OF XX

LAYOUT LEGEND	
⊕	CENTER LINE
—	ALIGN
---EJ---	EXPANSION JOINT (@ CONCRETE PAVING)
---	CONTROL JOINT (@ CONCRETE PAVING)
LP	LOW POINT
TW	TOP OF WALL
BW	BOTTOM OF WALL (@ FINISH GRADE)
TC	TOP OF CURB
BC	BOTTOM OF CURB
→	SLOPE DIRECTION
+	SPOT ELEVATION
⊕	POINT OF BEGINNING



- LAYOUT NOTES.**
- REFER TO L-102 FOR HARDSCAPE MATERIALS PLAN AND L-103 FOR PAVING PLAN.
 - REFER TO L-301 FOR PLANTING PLAN.
 - REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING.
 - THIS PLAN REFLECTS TOP OF WALL ELEVATIONS ONLY (AS IT RELATES TO ADJACENT COURTYARD GRADE); REFER TO CIVIL DRAWINGS FOR EXISTING CONDITIONS AND TOPOGRAPHY, FINAL PAVING GRADES, AND ALL DRAIN LOCATIONS.
 - PAVER PATTERNS & PAVING SCORING (CONTROL JOINTS) SHOWN ON L-101 REPRESENT PATTERNS TO BE INSTALLED; ORIENT PATTERNS AS SHOWN. SEE DETAIL 1/L-201 FOR PAVER PATTERN ENLARGEMENT, AND 2/L-103 FOR CONCRETE PAVEMENT SCORING LAYOUT.
 - PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, AND STAIR EDGES; REFER TO STRUCTURAL DRAWINGS.
 - EXPANSION JOINTS AT UNIT PAVERS ARE LOCATED IN SLAB BELOW; REFER TO STRUCTURAL DRAWINGS.
 - PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, AND STAIR EDGES; REFER TO STRUCTURAL DRAWINGS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT AND CONSTRUCTION OF ALL SITE WALLS, STAIRS, RAILINGS, FENCING AND GATES FOR REVIEW BY ARCHITECT AND LANDSCAPE ARCHITECT.

1 LAYOUT PLAN: PAVING
SCALE: 1" = 10'

DESIGNED: <u>JS, HT</u> DRAWN: <u>JS, CO</u> CHECKED: <u>HT, CO</u>										WARD: 22			
										SECTION: 060			
										SECT. APP.			
										BLOCK: 0861			
										LOT: 005			
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



APPLICANT/DEVELOPER	ENGINEER	OWNER
APPLICANT/DEVELOPER ADDRESS: SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 PHONE: XXX-XXX-XXXX	CITYSCAPE ENGINEERING, LLC 3000 CHESTNUT AVE., SUITE 112 BALTIMORE, MD 21211 PHONE: (410) 601-3290	OWNER ADDRESS MAYOR AND CITY COUNCIL 100 N HOLIDAY STREET BALTIMORE, MD 21202



CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

**CONWAY STREET PARK
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS**

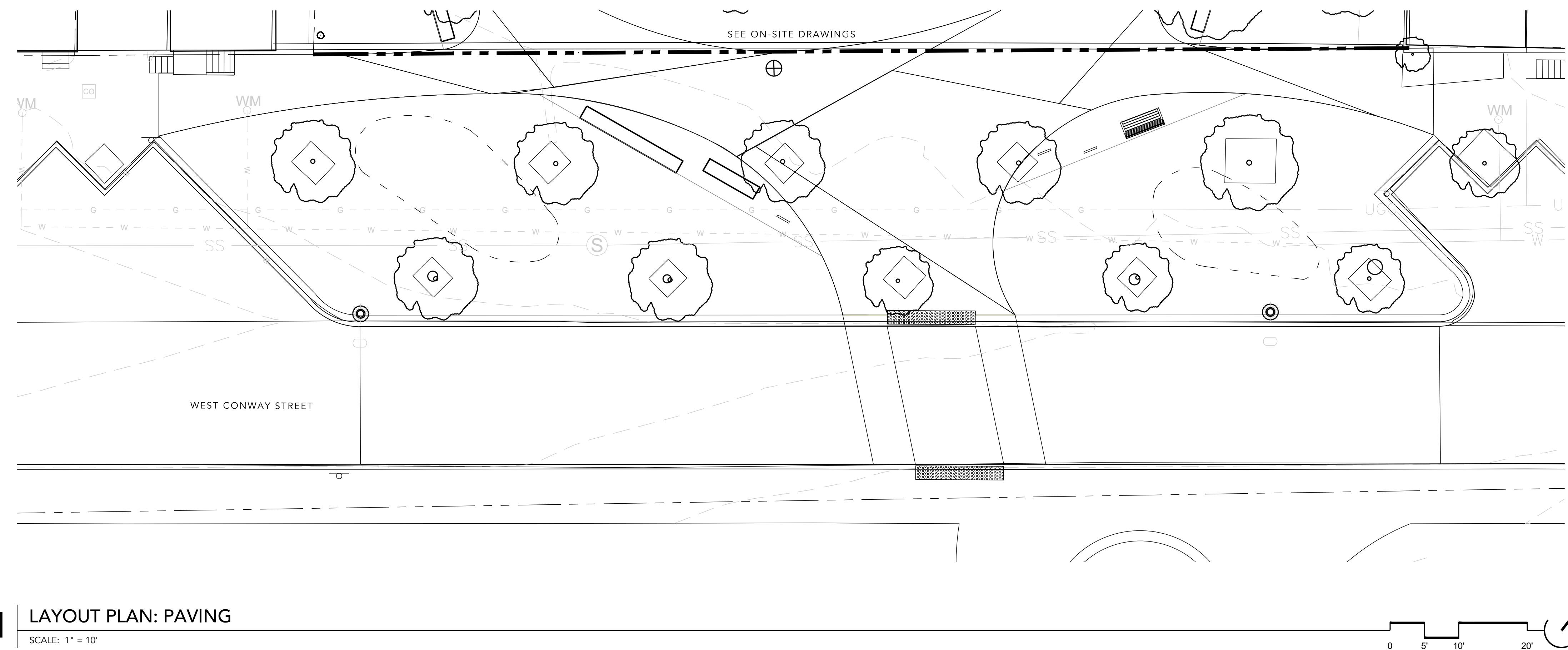
L103R

LAYOUT PLAN: PAVING
PROPERTY ADDRESS:
610 W CONWAY STREET
BALTIMORE, MD 21230

SCALE: AS SHOWN
DATE: _____
DWG NAME: _____
SHEET: OF XX

LAYOUT LEGEND

⊕	CENTER LINE
—	ALIGN
---EJ---	EXPANSION JOINT (@ CONCRETE PAVING)
---CJ---	CONTROL JOINT (@ CONCRETE PAVING)
LP	LOW POINT
TW	TOP OF WALL
BW	BOTTOM OF WALL (@ FINISH GRADE)
TC	TOP OF CURB
BC	BOTTOM OF CURB
→	SLOPE DIRECTION
+	SPOT ELEVATION
⊕	POINT OF BEGINNING



- LAYOUT NOTES.**
- REFER TO L-102 FOR HARDSCAPE MATERIALS PLAN AND L-103 FOR PAVING PLAN.
 - REFER TO L-301 FOR PLANTING PLAN.
 - REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING.
 - THIS PLAN REFLECTS TOP OF WALL ELEVATIONS ONLY (AS IT RELATES TO ADJACENT COURTYARD GRADE); REFER TO CIVIL DRAWINGS FOR EXISTING CONDITIONS AND TOPOGRAPHY, FINAL PAVING GRADES, AND ALL DRAIN LOCATIONS.
 - PAVER PATTERNS & PAVING SCORING (CONTROL JOINTS) SHOWN ON L-101 REPRESENT PATTERNS TO BE INSTALLED; ORIENT PATTERNS AS SHOWN. SEE DETAIL 1/L-201 FOR PAVER PATTERN ENLARGEMENT, AND 2/L-103 FOR CONCRETE PAVEMENT SCORING LAYOUT.
 - PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, AND STAIR EDGES; REFER TO STRUCTURAL DRAWINGS.
 - EXPANSION JOINTS AT UNIT PAVERS ARE LOCATED IN SLAB BELOW; REFER TO STRUCTURAL DRAWINGS.
 - PROVIDE EXPANSION JOINTS ALONG ALL BUILDING, WALL, AND STAIR EDGES; REFER TO STRUCTURAL DRAWINGS.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR LAYOUT AND CONSTRUCTION OF ALL SITE WALLS, STAIRS, RAILINGS, FENCING AND GATES FOR REVIEW BY ARCHITECT AND LANDSCAPE ARCHITECT.

1 LAYOUT PLAN: PAVING
SCALE: 1" = 10'

DESIGNED: <u>JS, HT</u> DRAWN: <u>JS, CO</u> CHECKED: <u>HT, CO</u>		WARD: 22											
SECTION: 060		SECT. APP.											
BLOCK: 0861													
LOT: 005													
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



APPLICANT/DEVELOPER
ADDRESS:
SOUTH BALTIMORE GATEWAY PARTNERSHIP
101 W. DICKMAN STREET
STE 1000
BALTIMORE, MD 21230
PHONE: XXX-XXX-XXXX

ENGINEER
CITYSCAPE ENGINEERING, LLC
3000 CHESTNUT AVE.,
SUITE 112
BALTIMORE, MD 21211
PHONE: (410) 601-3290



OWNER
OWNER ADDRESS
PHONE:
MAYOR AND CITY COUNCIL
100 N HOLIDAY STREET
BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

**CONWAY STREET PARK
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS**

L104R

LAYOUT PLAN: SITE AMENITIES

PROPERTY ADDRESS:
610 W CONWAY STREET
BALTIMORE, MD 21230

SCALE: AS SHOWN
DATE: OF XX
DWG NAME: SHEET: OF XX



PRODUCT:
SALVAGED BRICK PAVERS FROM EXISTING SITE PAVING IN R.O.W. SUPPLEMENT AS NEEDED WITH NEW BRICK TO MATCH.

ALT 1:
NEW BRICK (PRODUCT AND MANUFACTURER TBD)

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. SEE L103 FOR PAVING PATTERN
 3. SEE L102 FOR ALT. MATERIAL OPTION
 4. PAVERS TO BE LAID ON 1" BITUMINOUS SETTING BED W/ 4" COMPACTED, GRADED AGGREGATE SUBBASE. PROVIDE STEEL EDGING OR FLUSH DECORATIVE CONCRETE BAND.

1 PAVING: SALVAGED + NEW BRICK

N.T.S.



PRODUCT:
STABILIZED STONE DUST
COLOR: MEDIUMGRAY

MANUFACTURER:
TBD

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. COMPACTED, GRADED AGGREGATE BASE.
 3. PROVIDE STEEL EDGING OR FLUSH DECORATIVE CONCRETE BAND

2 PAVING: STABILIZED STONE DUST

N.T.S.



PRODUCT:
CAST IN PLACE CONCRETE WITH DECORATIVE SAWCUT PATTERN.

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. COMPACTED, GRADED AGGREGATE BASE

3 PAVING: CAST IN PLACE CONCRETE

N.T.S.



PRODUCT:
4"x8" x 2 1/4" BRICK PAVERS

MANUFACTURER:
TBD

- NOTES:**
1. SEE PLAN FOR LOCATION.

4 PAVING: BRICK, STANDARD RUNNING BOND

N.T.S.



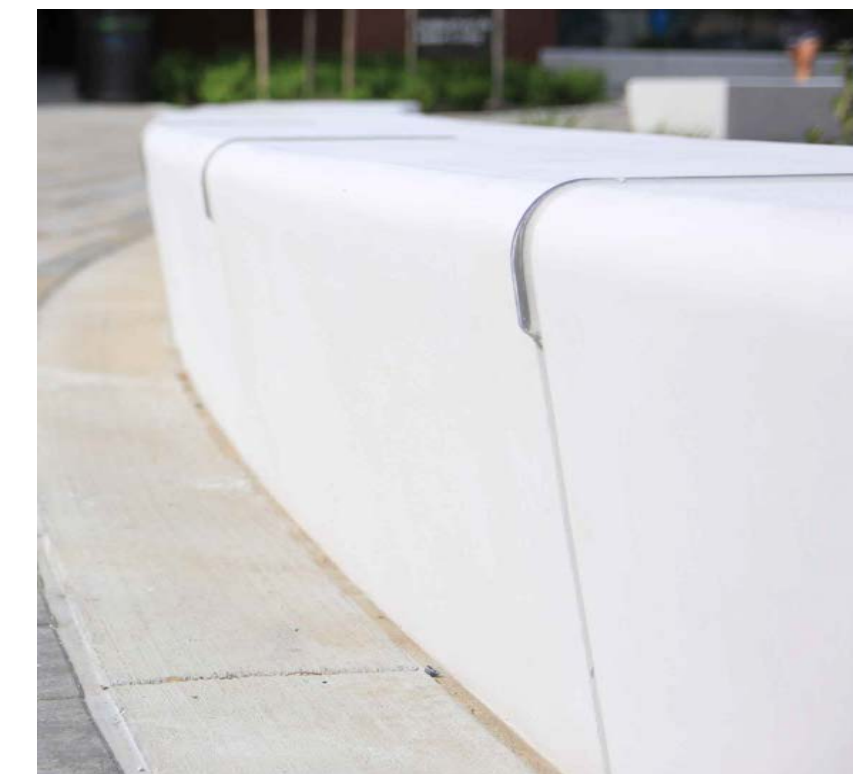
PRODUCT:
ADA TACTILE WARNING PAVERS

MANUFACTURER:
TBD

- NOTES:**
1. SEE PLAN FOR LOCATION.

5 TACTILE WARNING PAVERS

N.T.S.



PRODUCT:
10'L x 24"D x 18" H MOLDED CONCRETE SEATWALL ON CONCRETE SLAB

MANUFACTURER:
TBD

- NOTES:**
1. SEE PLAN FOR LOCATION.

6 PRECAST CONCRETE SEAT WALL

N.T.S.



PRODUCT:
MONOLINE SOLID SERIES BENCH, 6' L. (ML-SS-BENCH-72). THERMALLY MODIFIED ASH SLATS, ALUMINUM FRAME, CUSTOM POWDERCOAT FINISH (COLOR TBD). CUSTOMIZE WITH FULL BACKREST SLATS TO SEAT LEVEL.

MANUFACTURER:
SITE PIECES
DENVER, COLORADO
SITEPIECES.COM
800.484.0797

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. SURFACE MOUNT.

7 STANDALONE BENCH

N.T.S.



PRODUCT:
MONOLINE DUO BIKE RACKS, CUSTOM FINISH.

MANUFACTURER:
SITE PIECES
DENVER, COLORADO
SITEPIECES.COM
800.484.0797

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. SURFACE MOUNT

8 BIKE RACK

N.T.S.



PRODUCT:
BALTIMORE CITY STANDARD HISTORIC DISTRICT POLE LIGHT TO MATCH EXISTING IN R.O.W.

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. EMBEDDED MOUNT.
 3. PROVIDED AND INSTALLED BY BALTIMORE CITY DOT.

9 POLE LIGHT

N.T.S.



PRODUCT:
STEELSITES COLLECTION NSDC-36 WASTE AND RECYCLING RECEPTACLES. CUSTOM FINISH.

MANUFACTURER:
VICTOR STANLEY
DUNKIRK, MD
VICTORSTANLEY.COM
301.855.8300

- NOTES:**
1. SEE PLAN FOR LOCATION.
 2. SURFACE MOUNT.

10 LITTER + RECYCLING RECEPTACLES

N.T.S.

DESIGNED: <u>JS, HT</u> DRAWN: <u>JS, CO</u> CHECKED: <u>HT, CO</u>										WARD: 22			
										SECTION: 060 SECT. APP.			
										BLOCK: 0861			
										LOT: 005			
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



APPLICANT/DEVELOPER	ENGINEER	OWNER
APPLICANT/DEVELOPER ADDRESS: SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 PHONE: XXX-XXX-XXXX	CITYSCAPE ENGINEERING, LLC 3000 CHESTNUT AVE., SUITE 112 BALTIMORE, MD 21211 PHONE: (410) 601-3290	OWNER OWNER ADDRESS PHONE: MAYOR AND CITY COUNCIL 100 N HOLIDAY STREET BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

CITY OF BALTIMORE	
CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS	
L201R	
HARDSCAPE DETAILS	
PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
SCALE: AS SHOWN	DATE:
DWG NAME:	SHEET: OF XX

PROPOSED TREE PLANTING:

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	COMMENTS
CANOPY TREES.						
1	CK	<i>Cladrastis kentukea</i>	Yellowwood	2" Cal.	B&B/Cont.	0
2	NS	<i>Nyssa sylvatica</i>	Black Gum	2" Cal.	B&B/Cont.	0
ORNAMENTAL TREES.						
2	CF	<i>Comus florida</i>	Flowering Dogwood	8" Ht.	B&B/Cont.	Single-stem, full canopy
1	MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia	8" Ht.	B&B/Cont.	Single-stem, full canopy

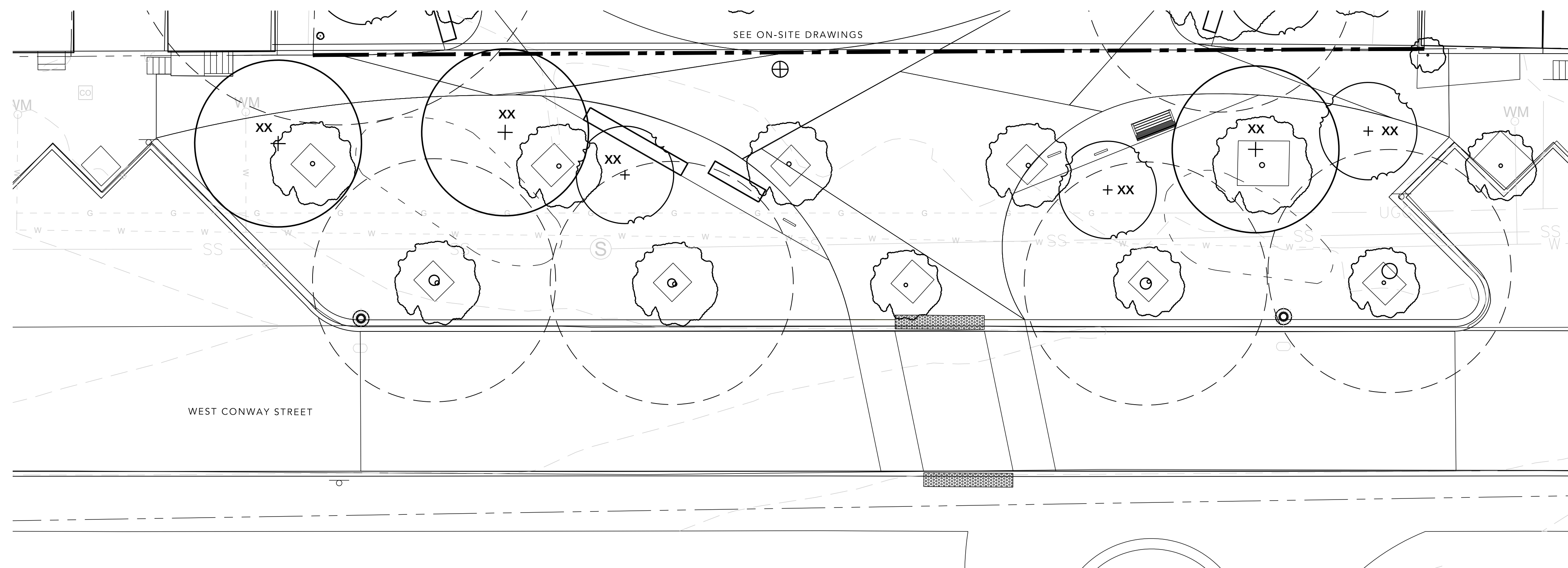
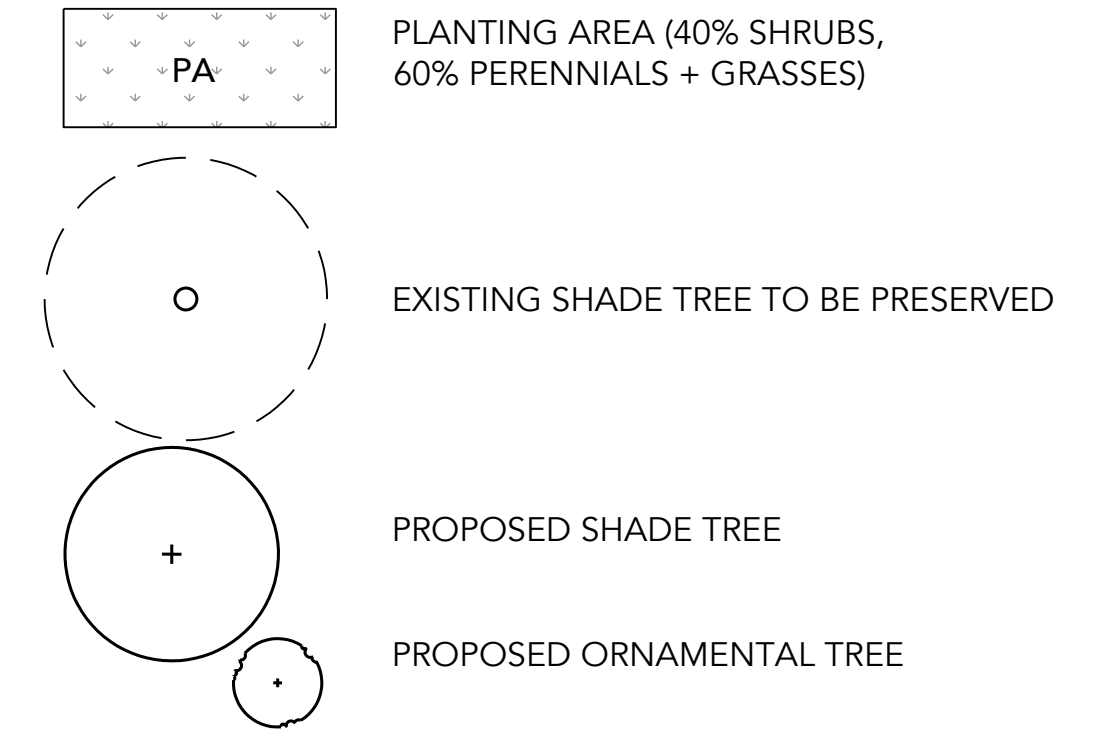
PROPOSED SHRUB + GROUNDCOVER PLANTING (DESIGN AND QUANTITIES TBD)

SHRUBS.						
0	IN	<i>Itea virginica</i> 'Little Henry'	Dwarf Virginia Sweetspire	#3	Cont.	24" ht., 3' O.C.
0	CA	<i>Clethra alnifolia</i> 'Sugartina Crystalina'	Dwarf Summersweet	#3	Cont.	24" ht., 3' O.C.
0	IV	<i>Ilex verticillata</i> 'Red Sprite/Jim Dandy'	Dwarf Winterberry	#3	Cont.	24" ht., 3' O.C.
0	FG	<i>Fothergilla gardenii</i>	Dwarf Witch-Alder	#3	Cont.	24" ht., 3' O.C.
0	RA	<i>Rhus aromatica</i> 'Gro-Low'	Aromatic Sumac	#3	Cont.	24" ht., 3' O.C.
ORNAMENTAL GRASSES, SEDGES, + RUSHES.						
0	CPE	<i>Carex pensylvanica</i>	Pennsylvania Sedge	#1	Cont.	18" O.C.
0	DCE	<i>Deschampsia cespitosa</i> 'Goldtau'	Tufted Hairgrass	#1	Cont.	18" O.C.
0	PVI	<i>Panicum virgatum</i> 'Shenandoah'	Switchgrass	#1	Cont.	18" O.C.
0	BGB	<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blonde Ambition' Grama Grass	#1	Cont.	18" O.C.
PERENNIALS.						
0	TCO	<i>Tiarella cordifolia</i>	Foamflower	#1	Cont.	18" O.C.
0	GMA	<i>Geranium maculatum</i>	Wild Geranium	#1	Cont.	18" O.C.
0	BAU	<i>Baptisia australis</i>	Blue False Indigo	#1	Cont.	18" O.C.
0	AHU	<i>Amsonia hubrichtii</i>	Threadleaf Bluestar	#1	Cont.	18" O.C.
0	HAM	<i>Heuchera americana</i> 'Dale's Strain'	Dale's Strain' Coral Bells	#1	Cont.	18" O.C.
0	ACA	<i>Asarum canadense</i>	Canada Wild Ginger	#1	Cont.	15" O.C.
0	IVE	<i>Iris versicolor</i>	Blue Flag Iris	#1	Cont.	18" O.C.
0	PAC	<i>Polystichum acrostichoides</i>	Christmas Fern	#1	Cont.	18" O.C.
0	DER	<i>Dryopteris erythrosora</i>	Autumn Fern	#1	Cont.	18" O.C.

PROPOSED SPECIES PALETTE

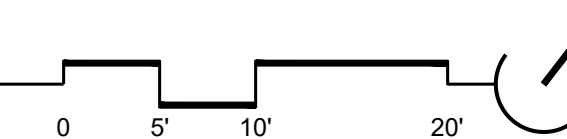


PLANTING LEGEND



1 PLANTING PLAN - ROW

SCALE: 1" = 10'



DESIGNED: JS_HT		DRAWN: JS_CO		CHECKED: HT_CO		WARD: 22		SECTION: 060		SECT. APP.			
						BLOCK: 0861							
						LOT: 005							
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



APPLICANT/DEVELOPER	ENGINEER	OWNER
APPLICANT/DEVELOPER ADDRESS: SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 PHONE: XXX-XXX-XXXX	CITYSCAPE ENGINEERING, LLC 3000 CHESTNUT AVE., SUITE 112 BALTIMORE, MD 21211 PHONE: (410) 601-3290	MAYOR AND CITY COUNCIL 100 N HOLIDAY STREET BALTIMORE, MD 21202

CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

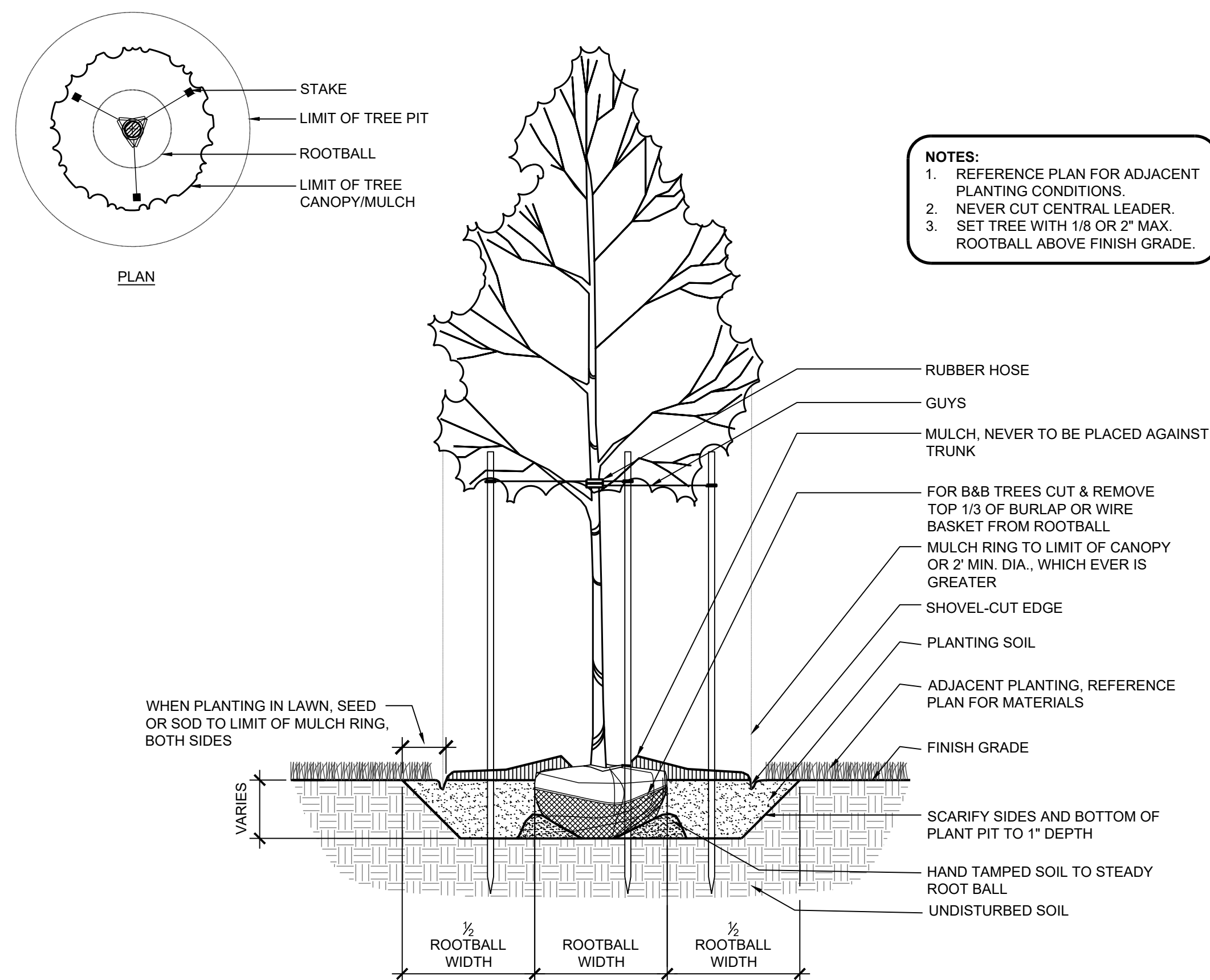
**CONWAY STREET PARK
RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS**

L301R

PLANTING PLAN
PROPERTY ADDRESS:
610 W CONWAY STREET
BALTIMORE, MD 21230

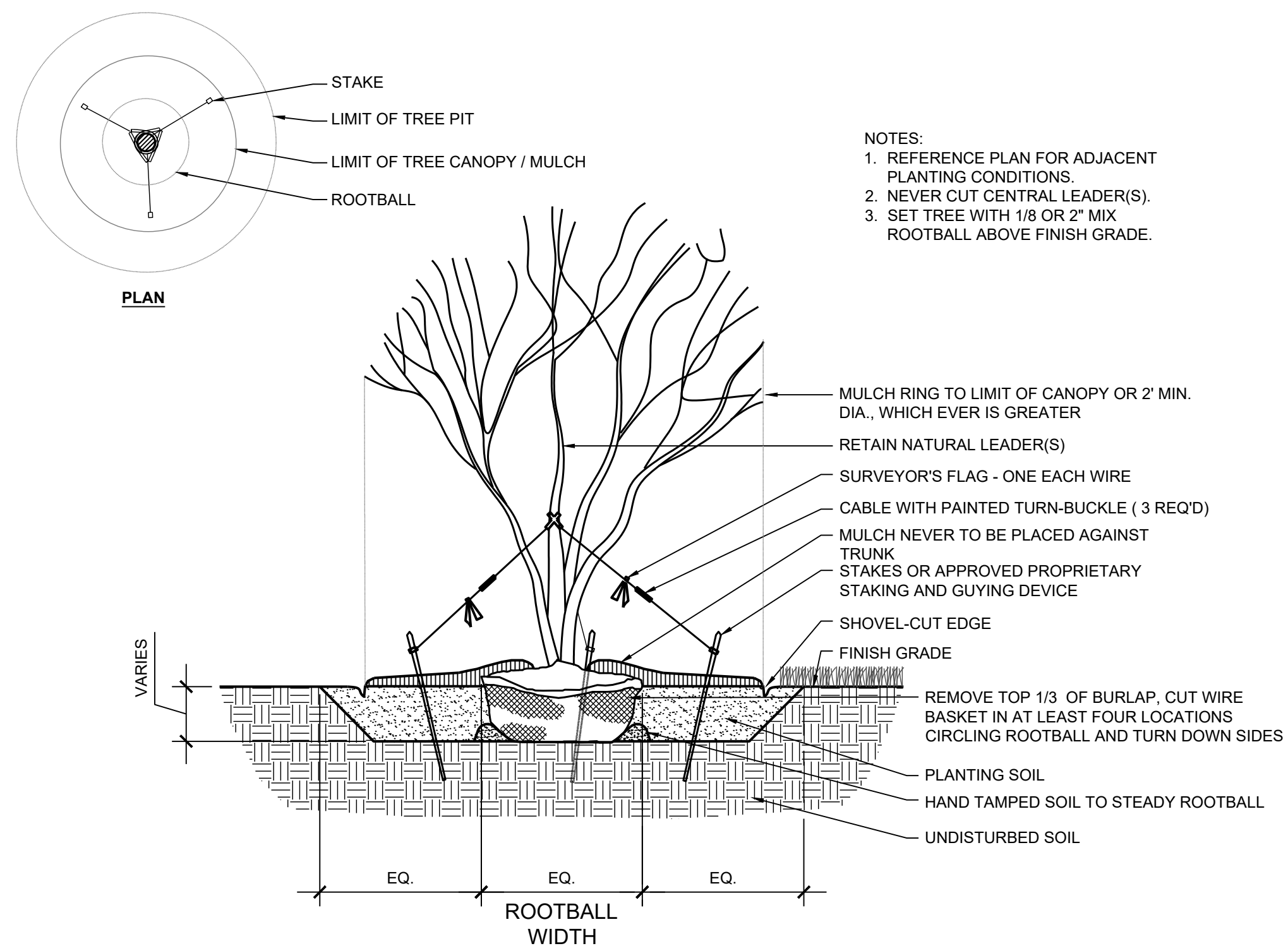
SCALE: AS SHOWN
DWG NAME:

DATE:
SHEET: OF XX



1 SINGLE STEM SHADE TREE PLANTING

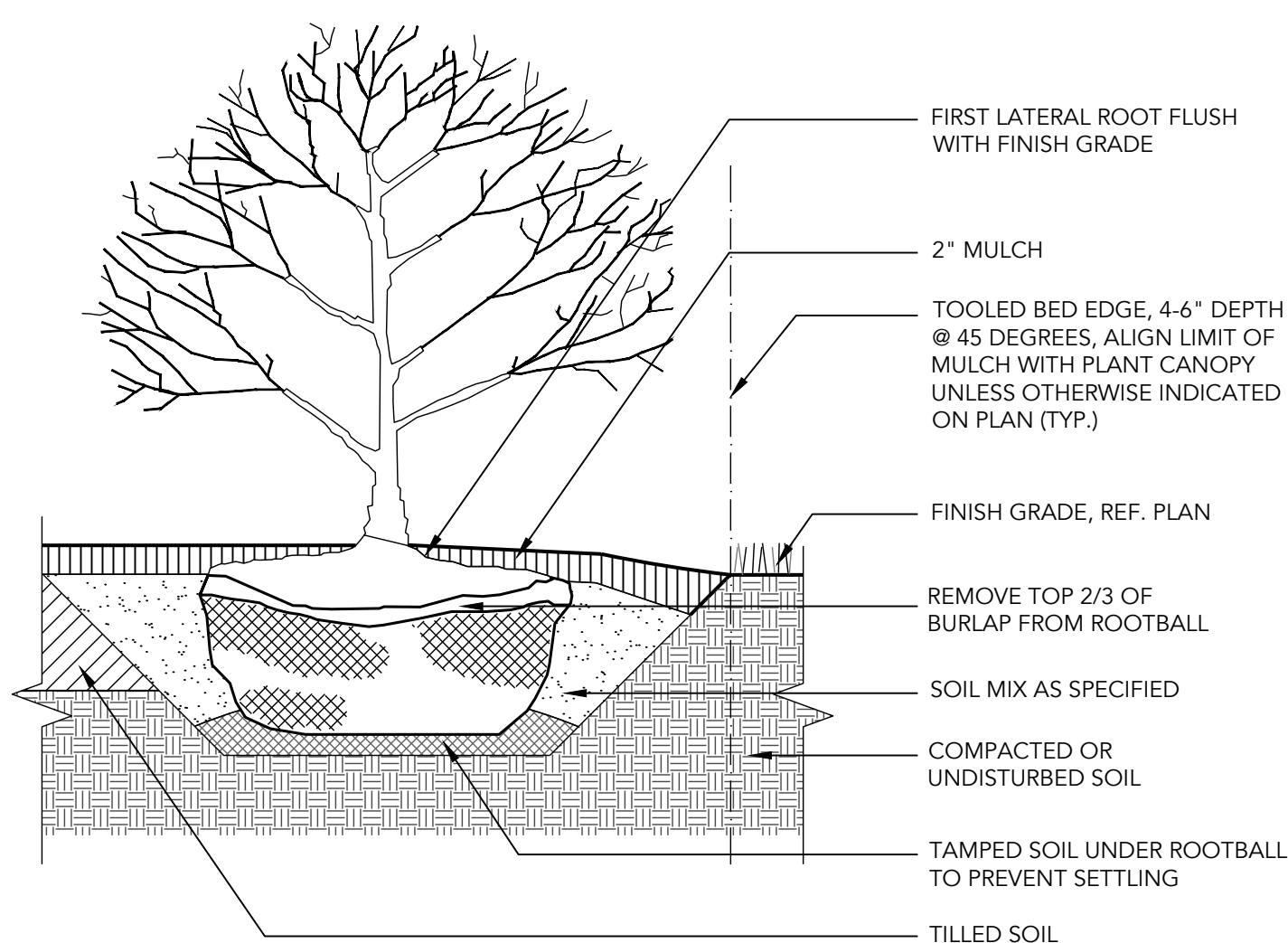
SCALE: 1" = 1/2'-0"



2 ORNAMENTAL TREE PLANTING

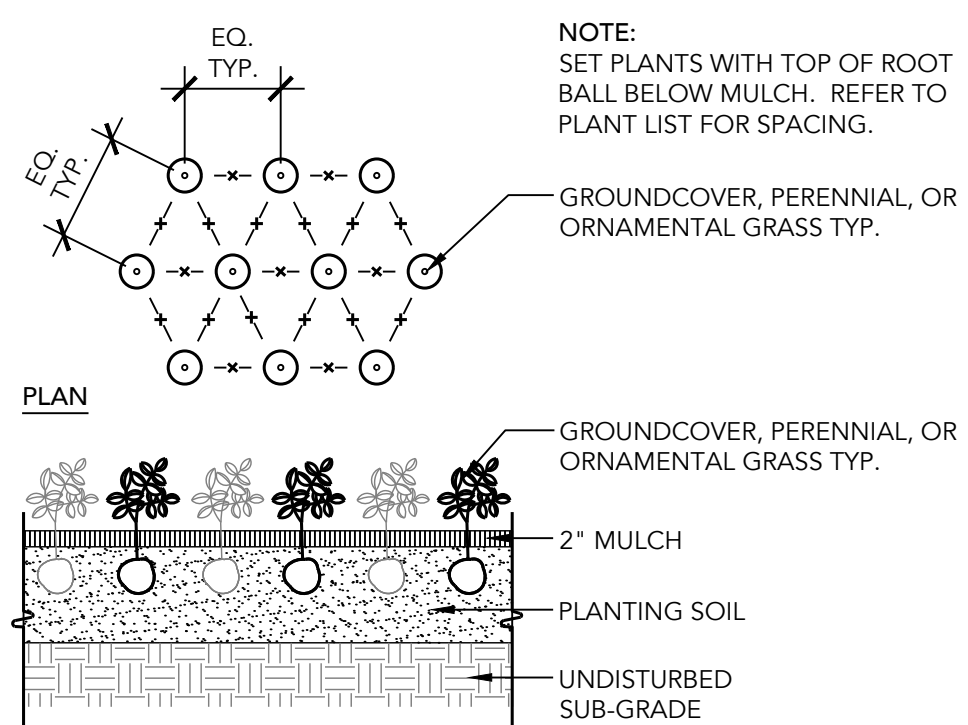
SCALE: 1" = 1/2'-0"

- GENERAL SEQUENCE OF CONSTRUCTION:**
1. STAKE OUT PLANT/BED LOCATIONS.
 2. CUT EDGE OF PLANT BED.
 3. TILL SOIL TO DEPTH SPECIFIED AND APPLY AMENDMENTS TO ENTIRE PLANTING AREA.
 4. APPLY PRE-EMERGENT HERBICIDE (TWO WEEKS PRIOR TO PLANTING).
 5. INSTALL PLANTS.
 6. INSTALL FERTILIZER TABLETS IN EACH PLANT PIT.
 7. PLACE BACKFILL.
 8. WATER EACH INDIVIDUAL PLANT THOROUGHLY.
 9. PLACE MULCH OVER ENTIRE PLANT BED.
 10. WATER ENTIRE PLANT BED THOROUGHLY.



3 SHRUB PLANTING

SCALE: 1" = 1'-0"



4 GROUNDCOVER PLANTING

SCALE: 1" = 1'-0"

DESIGNED: JS, HT DRAWN: JS, CO CHECKED: HT, CO										WARD: 22			
										SECTION: 060 SECT. APP.			
										BLOCK: 0861			
										LOT: 005			
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



APPLICANT/DEVELOPER	ENGINEER	OWNER
APPLICANT/DEVELOPER ADDRESS: SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 PHONE: XXX-XXX-XXXX	CITYSCAPE ENGINEERING, LLC 3000 CHESTNUT AVE., SUITE 112 BALTIMORE, MD 21211 PHONE: (410) 601-3290	OWNER ADDRESS MAYOR AND CITY COUNCIL 100 N HOLLIDAY STREET BALTIMORE, MD 21202



CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE

CONWAY STREET PARK RIGHT-OF-WAY LANDSCAPE IMPROVEMENTS

L401R

PLANTING DETAILS
PROPERTY ADDRESS:
610 W CONWAY STREET
BALTIMORE, MD 21230

SCALE: AS SHOWN

DWG NAME:

DATE:

SHEET: OF XX

SOIL PREPARATION NOTES.

THESE NOTES SERVE AS A GENERAL GUIDE ONLY. PER CSI SPECIFICATION SECTION 329113 (SOIL PREPARATION); REFER TO EROSION AND SEDIMENT CONTROL NOTES, SHEET C-303 FOR DETAILED INSTRUCTIONS ON SITE CLEARING, EROSION CONTROL, SOIL STORAGE, TESTING, PRODUCTS AND EXECUTION PROCEDURES.

- THE CONTRACTOR SHALL ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM PRECONSTRUCTION SOIL ANALYSIS ON EXISTING, ON-SITE SOIL AND IMPORTED SOIL. SOIL ANALYSIS/REPORT TO PROVIDE RECOMMENDATIONS ON: SOIL AMENDMENT; INCLUDING RECOMMENDATIONS FOR NITROGEN, PHOSPHORUS, AND POTASSIUM FERTILIZATION, AND FOR MICRONUTRIENTS; FERTILIZERS; SOIL-FERTILITY ANALYSIS ACCORDING TO SSSA NAFT SERA-6; AND ORGANIC MATTER CONTENT ACCORDING TO SSSA'S METHOD OF SOIL ANALYSIS PART 3 CHEMICAL METHODS. RECOMMENDATIONS TO BE PROVIDED IN WEIGHT PER 1000 SF FOR 6 INCH DEPTH OF SOIL.
- SOIL MATERIALS TO BE DELIVERED PACKAGED IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, NAME AND ADDRESS OF MANUFACTURER, AND COMPLIANCE WITH STATE AND FEDERAL LAWS IF APPLICABLE; APPROPRIATE CERTIFICATES TO ACCOMPANY DELIVERY OF BULK FERTILIZERS AND AMENDMENTS.
- DO NOT DUMP/STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, PAVEMENT, OR EXISTING TURF OR PLANT AREAS; PROVIDE EROSION CONTROL MEASURES AS NEEDED.
- BASED ON SOIL AGENCY RECOMMENDATION, PROVIDE EITHER AMENDED ON-SITE SURFACE SOIL, OR IMPORTED MANUFACTURER SOIL CONSISTING OF MANUFACTURER'S BASIC SANDY LOAM ACCORDING TO USDA TEXTURES, BLENDED IN A FACILITY WITH SAND, STABILIZED ORGANIC SOIL AMENDMENTS, AND OTHER MATERIALS TO PRODUCE VIABLE PLANTING SOIL. SOIL MUST NOT CONTAIN ANY EXTRANEIOUS MATERIALS THAT COULD BE HARMFUL TO PLANT GROWTH, NOR ANY STONES, ROOTS, POCKETS OF COURSE SAND, ETC., EXCEEDING 1 1/2 INCHES IN ANY DIMENSION.
- BLENDED EITHER AMENDED ONSITE SOIL OR IMPORTED SOIL WITH LOOSE COMPACT TO SOIL RATIO OF 1:4 BY VOLUME.
- APPLY INORGANIC AND ORGANIC SOIL AMENDMENTS AND FERTILIZERS PER RECOMMENDATION OF QUALIFIED SOIL TESTING AGENCY.
- FOR EITHER PLACING AND MIXING PLANTING SOIL OVER EXPOSED SUBGRADE, OR PLACING MANUFACTURED PLANTING SOIL OVER EXPOSED SUBGRADE: TILL SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES; APPLY HALF OF THICKNESS OF PLANTING SOIL OVER PREPARED, LOOSENEED SUBGRADE, MIXING INTO TOP 4 INCHES OF SUBGRADE; SPREAD REMAINDER OF PLANTING SOIL TO TOTAL DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT; COMPACT EACH LIFT OF PLANTING SOIL TO 75 TO 82 PERCENT OF MAXIMUM STANDARD PROCTOR DENSITY ACCORDING TO ASTM D698 EXCEPT WHERE DIFFERENT COMPACTION IS INDICATED ON DRAWINGS; GRADE PLANTING SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE; AND ROLL AND RAKE TO REMOVE RIDGES AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- IDENTIFY PROTECTION ZONES ACCORDING TO SECTION 015639 (TEMPORARY TREE AND PLANT PROTECTION), AND PROHIBIT PRACTICES IN THESE AREAS SUCH AS STORAGE OF MATERIALS, PARKING VEHICLES OR EQUIPMENT, VEHICLE OR FOOT TRAFFIC, ERECTION OF STRUCTURES, IMPOUNDMENT OF WATER, AND EXCAVATION.
- IF PLANTING SOIL OR SUBGRADE IS OVERCOMPACTED, DISTURBED, OR CONTAMINATED BY FOREIGN OR DELETERIOUS MATERIALS OR LIQUIDS, REMOVE THE PLANTING SOIL AND CONTAMINATION AND RESTORE SUBGRADE AND REPLACE CONTAMINATED PLANTING SOIL WITH NEW PLANTING SOIL.
- PROTECT AREAS ADJACENT TO PLANTING SOIL PREPARATION AND PLACEMENT AREAS FROM CONTAMINATION. KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
- REMOVE SURPLUS SOIL AND WASTE MATERIAL INCLUDING EXCESS SUBSOIL, UNSUITABLE MATERIALS, TRASH, AND DEBRIS AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY UNLESS OTHERWISE INDICATED.

PLANTING NOTES.

- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
- ALL PLANT MATERIALS SHALL CONFORM TO THE SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION. ANY PLANT MATERIAL EXHIBITING A SPINDLY OR LOP-SIDED HABIT OR ANY OTHER FEATURE THAT DETRACTS FROM ITS HEALTH OR APPEARANCE WILL BE REJECTED.
- ALL PLANTING SHALL BE IN ACCORDANCE WITH STANDARD AMERICAN ASSOCIATION OF NURSERYMEN PROCEDURES AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY THE CORRECT LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LANDSCAPED AREA PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONDITIONS ARISE IN THE FIELD WHICH NECESSITATES SHIFTING OF THE PLANT MATERIAL, THE LANDSCAPE ARCHITECT IS TO BE CONSULTED PRIOR TO RELOCATION.
- OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT BEFORE MAKING ANY SUBSTITUTIONS OR CHANGES.
- PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, TURF AND STRUCTURES. ANY DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITIONS. ALL AREAS DISTURBED BY PLANTING OR GRADING OPERATIONS SHALL BE FINE GRADED AND SEEDED OR SODDED. ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND CLEANED UP.
- PLACE PLANTS FOR BEST APPEARANCE FOR REVIEW AND FINAL ORIENTATION BY LANDSCAPE ARCHITECT.
- ALL PLANT BEDS SHALL BE CONTAINED WITH A 4" DEEP SPACED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL PLANT BEDS AND PLANTING AREAS TO BE MULCHED TO A DEPTH OF 2" UNLESS OTHERWISE NOTED ON DRAWINGS OR SPECIFICATIONS.

MAINTENANCE.

REQUIRED LANDSCAPING MUST BE KEPT ALIVE AND HEALTHY TO CONTINUE TO MEET THE REQUIREMENTS OF THE BALTIMORE CITY LANDSCAPE MANUAL AND THE ZONING CODE. PROPER MAINTENANCE AND IRRIGATION MUST BE PROVIDED FOR ALL INSTALLED LANDSCAPING.

THE MAINTENANCE OF PLANTS INSTALLED IS REQUIRED FOR SUCCESSFUL LANDSCAPING. PLANTS CANNOT BE INSTALLED AND LEFT ALONE, ESPECIALLY IN URBAN ENVIRONMENTS WHERE THEY MAY BE SUBJECT TO HIGH TEMPERATURES, HARSH ENVIRONMENTS, AND PHYSICAL ABUSE. GIVEN THE STRESSES AND RIGORS TO WHICH PLANTS ARE SUBJECTED, PLANTS MAY REQUIRE REPLACEMENT. A TWO-YEAR REPLACEMENT WARRANTY IS REQUIRED FOR ALL PLANTS AND A MAINTENANCE CONTRACT IS ENCOURAGED TO PROMOTE THE ESTABLISHMENT OF PLANTS AND ENCOURAGE PROPER LANDSCAPE MAINTENANCE. BEYOND THE WARRANTY PERIOD, THE CONTINUED MAINTENANCE OF THE LANDSCAPE IS THE RESPONSIBILITY OF THE PROPERTY OWNER FOR THE LIFE OF THE PROJECT.

REQUIREMENTS FOR LANDSCAPE MAINTENANCE ARE AS FOLLOWS:

- MAINTENANCE OF LANDSCAPED AREAS INCLUDES, BUT IS NOT LIMITED TO WEEDING, MULCHING, MOWING, TRIMMING, PRUNING, EDGING, CULTIVATION, SEEDING, FERTILIZATION, WATERING, PEST CONTROL, AND ANY OTHER MAINTENANCE NECESSARY TO ENSURE HEALTHY, VIGOROUS PLANT GROWTH AND WELL-KEPT PROPERTY CONDITION.
- LANDSCAPING ELEMENTS SUCH AS WALLS AND FENCES SHALL BE CONSTRUCTED IN A SOUND WORKMANLIKE MANNER WITH ADEQUATE SUPPORT OR FOOTINGS AND MUST BE REPAIRED OR REPLACED AS NEEDED TO PRESERVE AN ATTRACTIVE APPEARANCE AND TO FUNCTION AS INTENDED.
- ANY DEAD PLANTS OR PLANTS WHICH FAIL TO SHOW HEALTHY GROWTH MUST BE REMOVED AND REPLACED WITHIN 60 DAYS OF IDENTIFICATION OF DETERIORATED HEALTH OR NOTIFICATION BY THE CITY. REPLACEMENT MAY BE DELAYED UNTIL THE NEXT GROWING SEASON ONLY IF THE 60 DAY PERIOD OCCURS DURING A TIME OF YEAR NOT SUITABLE FOR PLANTING.
- ALL REPLACEMENT PLANTS MUST MEET THE SIZE AND OTHER CHARACTERISTICS OF NEWLY PLANTED MATERIAL AS REQUIRED IN THE MANUAL.
- TREES AND LARGE SHRUBS MUST BE ADEQUATELY SUPPORTED, WHEN NECESSARY TO INSURE PROPER GROWTH. TREE STAKING MUST BE REMOVED PRIOR TO FINAL INSPECTION, WITH THE EXCEPTION OF PLANTS REPLACED DURING THE WARRANTY PERIOD AND NOT YET ESTABLISHED.
- IT IS DESIRABLE TO AVOID EXCESSIVE USE OF FERTILIZERS, HERBICIDES, AND PESTICIDES TO MINIMIZE IMPACTS ON WATER QUALITY. IT IS RECOMMENDED THAT FERTILIZER APPLICATION BE NEED-BASED RATHER THAN AS AN AUTOMATIC COMPONENT OF MAINTENANCE SCHEDULES AND WHEN APPROPRIATE, SLOW-RELEASE OR NATURAL FERTILIZERS BE SELECTED OVER HIGHLY-SOLUBLE CHEMICAL FERTILIZERS.
- APPLICATION OF HERBICIDES AND PESTICIDES SHALL BE PERFORMED BY A CERTIFIED PROFESSIONAL ONLY.
- THE IMPLEMENTATION OF AN INTEGRATED PEST MANAGEMENT (IPM) PROGRAM IS RECOMMENDED TO PREVENT AND TREAT PEST PROBLEMS.

IRRIGATION.

ALL PLANTS NEED SUPPLEMENTAL WATER DURING THE FIRST AND SECOND GROWING SEASONS TO ESTABLISH THEIR ROOT SYSTEMS; HOWEVER, A PERMANENT IRRIGATION SYSTEM IS NOT REQUIRED. A GENERAL GUIDELINE FOR ESTABLISHMENT IS TO PROVIDE IRRIGATION AT A RATE OF ONE INCH OF WATER PER WEEK, INCLUDING THAT THROUGH RAINFALL. RECOMMENDED TECHNIQUES TO REDUCE WATER REQUIREMENTS AND APPROVED METHODS FOR THE PROVISION OF WATER SUPPLY TO PLANTS INCLUDE THE FOLLOWING:

IRRIGATION METHODS.

- THE USE AND MAINTENANCE OF DRIP IRRIGATION BAGS OR RINGS AROUND THE TRUNKS OF NEWLY-PLANTED TREES.
- HAND WATERING, WITH WATER SOURCES PROVIDED THROUGH EITHER OR BOTH OF THE FOLLOWING METHODS:
 - EXTERIOR FAUCETS ON A BUILDING, LOCATED SO THAT THE FARTHEST PLANTING CAN BE REACHED BY A LENGTH OF HOSE (100 FEET RECOMMENDED).
 - A QUICK-COUPPLING SYSTEM, WITH CONNECTIONS LOCATED SO THAT THE FARTHEST PLANTING CAN BE REACHED BY A LENGTH OF HOSE (100 FEET RECOMMENDED).
 - A WATER TANK OR TRUCK.
- AN AUTOMATIC IRRIGATION SYSTEM WITH A MOISTURE-SENSING DEVICE AND/OR RAIN SHUT-OFF SWITCH. IF USING AN AUTOMATIC IRRIGATION SYSTEM, THE FOLLOWING REQUIREMENTS SHALL BE MET:
 - ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE VANDALISM.
 - SPRINKLERS MUST NOT OVER-SPRAY ONTO PAVEMENT. SPRINKLER AND SPRAY HEADS ARE NOT PERMITTED FOR PLANTING AREAS LESS THAN 8 FEET IN WIDTH, TO PREVENT OVERSPRAY AND RUN-OFF. OTHER IRRIGATION METHODS SHALL BE SPECIFIED IN SUCH AREAS.
 - PLACE LAWN AREAS IN A SEPARATE IRRIGATION ZONE FROM SHRUB AND GROUND COVER BEDS, SO THAT EACH PLANTING TYPE CAN RECEIVE ADEQUATE IRRIGATION WITHOUT OVER-WATERING AREAS WITH LOWER IRRIGATION NEEDS.
 - DRIP IRRIGATION IS RECOMMENDED FOR SHRUB AND GROUND COVER BEDS. DRIP IRRIGATION SHALL BE USED IN AREAS SMALLER THAN FIVE FEET IN ANY DIRECTION.
- THE USE OF RAINWATER HARVESTING TECHNIQUES COMBINED WITH THE USE OF HARVESTED RAINWATER FOR LANDSCAPE IRRIGATION IS ENCOURAGED.

										DESIGNED: <u>JS_HT</u> DRAWN: <u>JS_CO</u> CHECKED: <u>HT_CO</u>		WARD: 22	
										SECTION: 060		SECT. APP.	
										BLOCK: 0861			
										LOT: 005			
BALTIMORE CITY REVIEW	R/W RELEASE	LIGHTING	TRAFFIC ENGINEERING	SIGNAL ENGINEERING	STRUCTURAL	CONDUIT	HIGHWAY ENGINEERING	DRAINAGE	EROSION AND SEDIMENT CONTROL	WASTE WATER ENGINEERING	WATER ENGINEERING	GRADE ESTABLISHED	ADA COMPLIANCE
BY													
DATE													

FOR INFORMATION ONLY. NOT FOR CONSTRUCTION.



APPLICANT/DEVELOPER	ENGINEER	OWNER
APPLICANT/DEVELOPER ADDRESS: SOUTH BALTIMORE GATEWAY PARTNERSHIP 101 W. DICKMAN STREET STE 1000 BALTIMORE, MD 21230 PHONE: XXX-XXX-XXXX	CITYSCAPE ENGINEERING, LLC 3000 CHESTNUT AVE, SUITE 112 BALTIMORE, MD 21211 PHONE: (410) 601-3290	OWNER ADDRESS PHONE: MAYOR AND CITY COUNCIL 100 N HOLIDAY STREET BALTIMORE, MD 21202



CITY OF BALTIMORE DEPARTMENT OF TRANSPORTATION	CITY OF BALTIMORE
CHIEF, TRANSPORTATION ENGINEERING & CONSTRUCTION DIVISION	
DIRECTOR, DEPARTMENT OF TRANSPORTATION	DATE
CITY OF BALTIMORE DEPARTMENT OF PUBLIC WORKS	
APPROVAL RECOMMENDED	
CHIEF, OFFICE OF ENGINEERING AND CONSTRUCTION	DATE
APPROVED	
DIRECTOR, DEPARTMENT OF PUBLIC WORKS	DATE
CONWAY STREET PARK RIGHT-OF-WAY HARDSCAPE IMPROVEMENTS <h1>L402R</h1> PLANTING NOTES PROPERTY ADDRESS: 610 W CONWAY STREET BALTIMORE, MD 21230	
SCALE: AS SHOWN	DATE:
DWG NAME:	SHEET: OF XX